



# BOARD OF ZONING APPEALS

APRIL 17, 2025

ALPHARETTA CITY HALL  
COUNCIL CHAMBERS  
2 PARK PLAZA  
5:30 PM

1. **CALL TO ORDER**
  - A. **Election of Chair for Meeting of 4.17.25**
2. **ROLL CALL**
3. **APPROVAL OF MEETING MINUTES**
  - A. **Approval of Board of Zoning Appeals Minutes of March 20, 2025.**
4. **PUBLIC HEARING**
  - A. **V-25-05 Kennedy/1600 Briers Chute Pool Setback Variance**

Consideration of a variance from Unified Development Code (UDC) Subsection 2.3.3 (B) and UDC Subsection 2.3.3 (C) to reduce a swimming pool setback from 20' to 10'. The property is located at 1600 Briers Chute and is legally described as being located in Land Lot 1201, 2nd District, 2nd Section, Fulton County, Georgia.
5. **ITEMS FROM BOARD MEMBERS**
6. **ITEMS FROM STAFF**
7. **ADJOURNMENT**



# Board of Zoning Appeals

## UNOFFICIAL Minutes

March 20, 2025

CITY HALL 2 PARK PLAZA

5:30 PM

### I. CALL TO ORDER

Chair Gordy called the meeting to order at 5:30 p.m.

### II. ROLL CALL

- **Board Members Present**

- Chairman Mike Gordy
- Vice Chair Kirk Driskell
- Marc Gelber
- Scott Wharton
- Kirk Driskell
- Anne Holcombe
- Cliff Cobb
- DJ Teshale

- **Board Members Absent**

- Donna Shaw Murphy
- Lisa Shippel

- **Staff Present**

- Micheal Woodman, Planning & Development Manager
- Joel Carnow, GIS Specialist/ Special Projects Manager
- Erin Cobb, Administrative Office Coordinator

### III. Approval of Meeting Minutes

#### A. Meeting Minutes (Meeting of January 16, 2025)

❖ Board Member Gelber offered a motion to approve the meeting minutes from January 16, 2025.

- The motion received a second from Board Member Teshale.
- The motion was approved unanimously (7-0)

#### IV. Items from Board Members

A. None

#### V. Items from Staff

A. Public Hearing Procedure

#### VI. Public Hearing

##### A. V-25-04 Foley/1340 Squirrel Run Setback Variance

Michael Woodman, Planning & Development Manager, presented consideration of an exception to reduce the side building setback from eight feet (8') to six feet (6') to accommodate a detached garage. The subject property is located at 1340 Squirrel Run in the Jennifer Oaks subdivision.

The submitted request, if approved, would allow a six-foot (6') side setback for a detached garage on a single-family detached lot. An exception is requested to reduce the side setback from eight feet (8') to six (6'). The subject property is located at 1340 Squirrel Run in the Jennifer Oaks subdivision.

The 0.30-acre property is zoned R-15 (Dwelling, 'For-Sale', Residential) and is developed with a two (2) story, approximately 3,122 square foot single-family detached home. Surrounding properties are zoned R-15 and located in the Jennifer Oaks subdivision.

Unified Development Code (UDC) Subsection 2.2.5(D), R-15 Dwelling, For-Sale, Residential, District Regulations, requires a ten-foot (10') side setback. An administrative variance was approved for the Jennifer Oaks subdivision reducing the side setback for all lots from ten feet (10') to eight feet (8'). The site plan depicts a one-story, one (1) car detached garage located at the end of the driveway. The home currently has a two (2) car side-loaded garage. There is approximately four feet (4') between the residence and the detached garage. The applicant has stated that the garage was not proposed to be attached to the house due to the existing floor plan of the home which does not have a side entrance into a mudroom or kitchen. Otherwise, to access the proposed one (1) garage, the homeowners would have to open the garage doors to both the side-loaded garage and single car garage. Therefore, the garage is proposed to be detached to allow for a side entry door in the four feet (4') area between the two (2) structures. The four-foot (4') area would also accommodate access to the rear yard.

##### Exception Review Criteria

*The property has peculiar conditions due to the existing floor plan of the home which adversely*

*affect its reasonable use. The floor plan does not have a side entrance into a mudroom or kitchen due to the home having a side-loaded garage on the right side of the home. Therefore, the applicant proposed a detached garage to allow for a side entry door in the four feet (4') area between the home and the garage. Otherwise, the homeowners would have to open the garage doors to both garages in order to gain access to the proposed garage.*

*The applicant's proposal would not cause a substantial detriment to the public good. The requested exception, if approved, would reduce the side setback by two feet (2'). The request relates to accommodating reasonable access to the proposed garage and the applicant provided letters of no objection from adjacent properties, as well as the Jennifer Oaks HOA.*

Staff has reviewed the applicant's proposal against the review criteria for an exception. The property has peculiar conditions due to the existing floor plan of the home which adversely affect its reasonable use. The floor plan does not have a side entrance into a mudroom or kitchen due to the home having a side-loaded garage on the right side of the home. Therefore, the applicant proposed a detached garage to allow for a side entry door between the home and the garage. Otherwise, the homeowners would have to open the garage doors to both garages in order to gain access to the proposed garage. The request relates to accommodating reasonable access to the proposed garage and the applicant provided letters of no objection from adjacent properties, as well as the Jennifer Oaks HOA.

Staff's Recommendation:

Approve E-25-04 Foley/1340 Squirrel Run, subject to the following conditions:

1. Detached garage shall be permitted with a 6' side setback, as depicted on the site plan labeled Exhibit A – Site Plan.
2. Detached garage shall be substantially similar to the renderings labeled Exhibit B – Rendering, as approved by Staff.

There was discussion from the Board:

- Showed Location of detached garage and existing home.
- Grade.
- One car garage.
- No breezeway from home to garage.
- Approving this variance does not affect neighbor's retaining wall.

John Foley, Applicant presented.

There is no basement to the garage.

Small laundry room on the west side of the house. Nowhere to put an entrance on the side of that house.

Proposing and obtained approval from HOA to construct an Allan block structural wall.

There was discussion from the Board:

- Intent is to put in pull down attic stair on top floor. No inhabitants. No plumbing. Use for storage.
- Access to the house.

**Public Comment:**

- The Jennifer Oaks HOA President, John Mensching, 1065 Jennifer Oaks Drive Alpharetta, GA 30004, came forward in support of this item.
- ❖ Board Member Gelber offered a motion to approve V-25-04 Foley/1340 Squirrel Run Setback Variance subject to the following conditions:
  1. Detached garage shall be permitted with a 6' side setback, as depicted on the site plan labeled Exhibit A – Site Plan.
  2. Detached garage shall be substantially similar to the renderings labeled Exhibit B – Rendering, as approved by Staff.
- The motion received a second from Board Member Holcombe
- The motion was approved unanimously (7-0)

**VII. ADJOURNMENT**

- ❖ With no further business to discuss or items to be heard, Board Member Gelber offered a motion to adjourn the meeting.
  - The motion received a second from Board Member Cobb.
  - The motion was approved unanimously (7-0); Chairman Gordy adjourned the meeting at 5:51 P.M.



# BOARD OF ZONING APPEALS MEETING STAFF REPORT

SUBMITTING DEPARTMENT: COMMUNITY DEVELOPMENT  
SUBMITTED BY: KATHI COOK  
DRAFTED BY: MICHAEL WOODMAN

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**I. AGENDA ITEM TITLE: V-25-05 KENNEDY/1600 BRIERS CHUTE POOL SETBACK VARIANCE**

BOARD OF ZONING APPEALS:        APRIL 17, 2025

**II. RECOMMENDATION:**

Approve V-25-05 Kennedy/1600 Briers Chute Pool Setback Variance, subject to the following conditions:

1. Swimming pool shall be permitted as depicted on the submitted site plan with a 10' rear setback.

**III. REPORT IN BRIEF:**

The applicant, Ashley Dover with Georgia Classic Pool, is requesting consideration of a variance to reduce the rear setback from twenty feet (20') to ten feet (10') to accommodate a swimming pool. The subject property is located at 1600 Briers Chute in the Brierfield subdivision.

## DISCUSSION

The submitted request, if approved, would allow for a swimming pool at the rear of a single-family home with a reduced rear pool setback of ten feet (10'). The subject property is located at 1600 Briers Chute in the Brierfield subdivision.

The 0.34-acre property is zoned R-15 (Dwelling For-Sale, Residential) and is developed with a two story, approximately 2,606 square foot single-family detached home. The property is a corner lot with a platted front (west) setback along Briers Chute of 35', a side corner (north) setback along Davis Island of 35' and 30' rear (east) setback. The subdivision plat notes indicate that the side corner setback should be twenty feet (20'); however, the side corner setback on the subject property is depicted to be 35'. The property located directly to the north, 1590 Briers Chute, is also a corner lot and is depicted with a 20' side corner setback along Davis Island. Surrounding properties are zoned R-15 and consist of residential lots located in the Brierfield subdivision.

Unified Development Code (UDC) Subsections 2.3.3(B) and 2.3.3(C)(7) require that a swimming pool have a twenty-foot (20') setback from the rear and side property lines, or the same setback as the principal structure, whichever is less. The platted rear setback in the Brierfield subdivision is 30'; therefore, a twenty-foot (20') rear setback is required for the proposed swimming pool.

The applicant proposes to reduce the rear setback by 50% from twenty feet (20') to ten feet (10') to accommodate a 538 square foot swimming pool with spa at the rear of the existing home. There are several properties in the Brierfield subdivision with swimming pools, including at 475 Briars Bend, 3140 Brierfield Road, 800 Locust Grove Court, 1550 Briers Chute, 1315 Briers Creek Drive, and 1210 Briers Creek Drive. The applicant does not propose any tree removal with the construction of the swimming pool.

## VARIANCE REQUIREMENTS

The City of Alpharetta Unified Development Code Article IV, Section 4.5.3 outlines the criteria set forth for granting a hardship variance. The ordinance specifically states...“a variance may be granted in whole or in part, or with conditions, in such individual case of unnecessary hardship upon a finding that”:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography; or

*Response: The property does not have exceptional conditions due to its size, shape or topography. However, the property was developed with a 35' building setback along the northern property line (Davis Island), which is the side corner of the property. The Brierfield subdivision plat notes a twenty-foot (20') side corner setback, but a 35' platted setback is depicted on the subject property along Davis Island. The property located directly to the north, 1590 Briers Chute, is also a corner lot and is depicted with a twenty-foot (20') side corner setback along Davis Island. Therefore, the incorrect side corner setback was depicted on the subject property.*

2. The application of the Ordinance to this particular piece of property would create an unnecessary hardship; or

*Response: Application of the ordinance would create an unnecessary hardship. The incorrect side corner setback was applied to the property, which limits the area for residential accessory structures, such as a pool.*

3. There are conditions that are peculiar to the property which adversely affect its reasonable use or usability as currently zoned; or

*Response: The property has peculiar conditions due to being a corner lot with two (2) road frontages. In addition, the incorrect side corner setback was applied to the property which limits the area for residential accessory structures, such as a swimming pool. Furthermore, the applicant provided letters of approval/no objection from adjacent properties and the Brierfield HOA. There are examples of similar variance requests being approved to reduce setbacks for a swimming pool, including at 1060 Gramercy Lane on November 16, 2023, and 550 Ebley Place on October 19, 2023.*

## CONCURRENCES

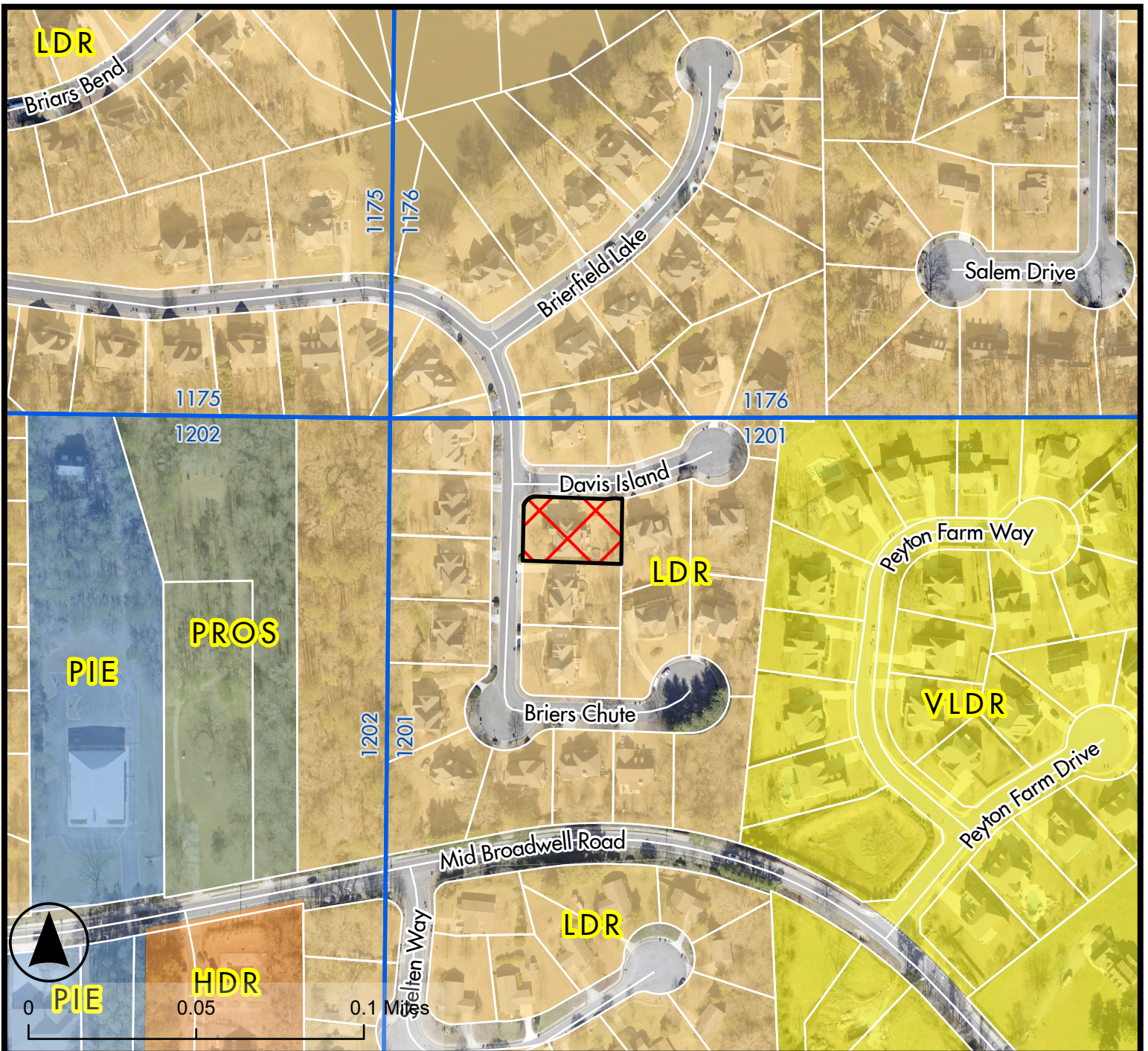
Staff has reviewed the applicant's proposal against the review criteria for a variance. The property has peculiar conditions due to being a corner lot with two (2) road frontages. In addition, the incorrect side corner setback was applied to the property which significantly limits the area for residential accessory structures, such as a swimming pool. Furthermore, the applicant provided letters of approval/no objection from adjacent properties and the Brierfield HOA. There are examples of similar variance requests being approved to reduce setbacks for a swimming pool, including at 1060 Gramercy Lane on November 16, 2023, and 550 Ebley Place on October 19, 2023.

## CITIZEN PARTICIPATION PLAN








The applicant notified adjacent property owners of the variance request and intent for the property. The applicant provided letters of approval/no objection from adjacent property owners and from the Brierfield HOA.

### IV. ATTACHMENTS:

- Map Series
- Latest Site Plan
- Citizen Part B
- Application



Legend

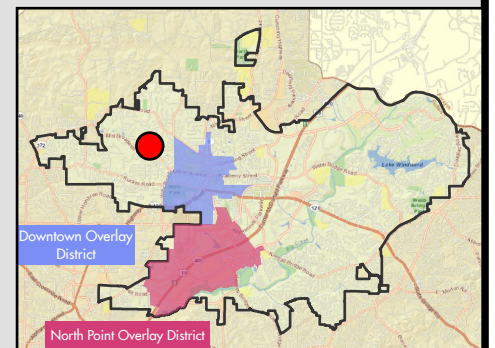
-  V-25-05
-  Land Lots
-  Tax Parcels
-  Alpharetta City Limits
- Future Land Use 2040
-  High Density Residential
-  Low Density Residential
-  Parks, Recreation, Open Space
-  Public, Institutional, Education
-  Very Low Density Residential

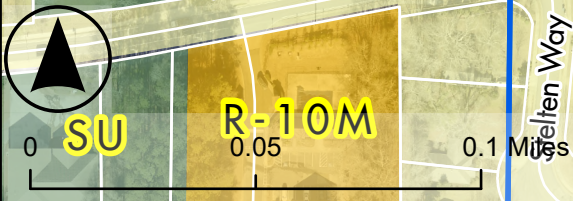
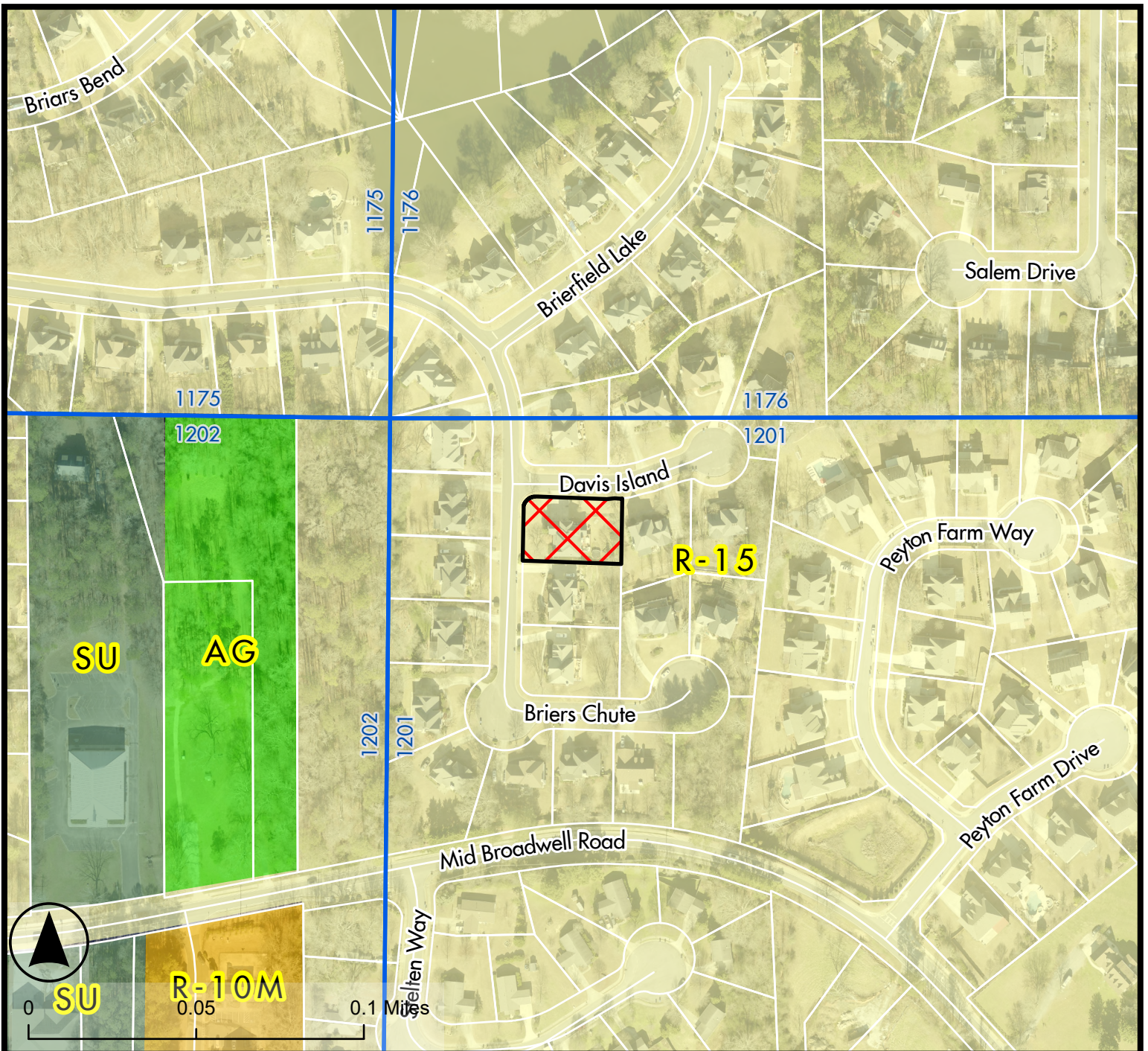
# Future Land Use Map

## Kennedy/1600 Briers Chute

V-25-05

D/LL: 2/2/1201  
BZA: 4/17/2025





Legend

- V-25-05
- Land Lots
- Tax Parcels
- Alpharetta City Limits

Zoning District

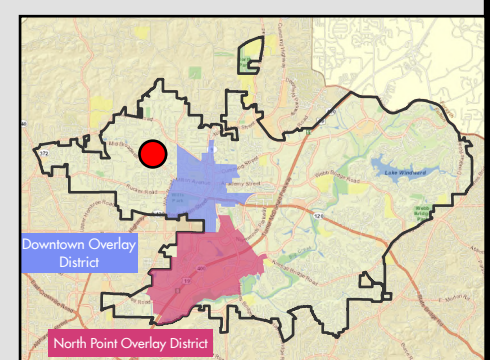
- AG Agriculture
- R-10M Multi Family Residential (HDR)
- R-15 Single Family Detached Residential
- SU Special Use

# Zoning Map

Kennedy/1600 Briers Chute






V-25-05

D/LL: 2/2/1201  
BZA: 4/17/2025





**Legend**

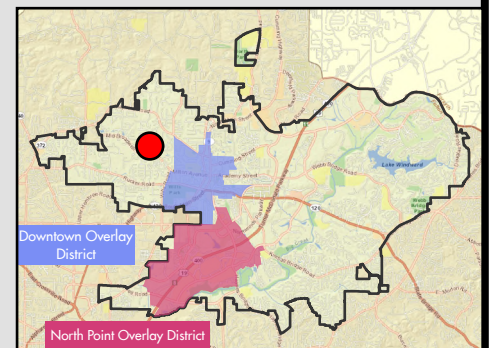
-  V-25-05
-  Land Lots
-  Tax Parcels
-  500 ft Buffer
-  Alpharetta City Limits

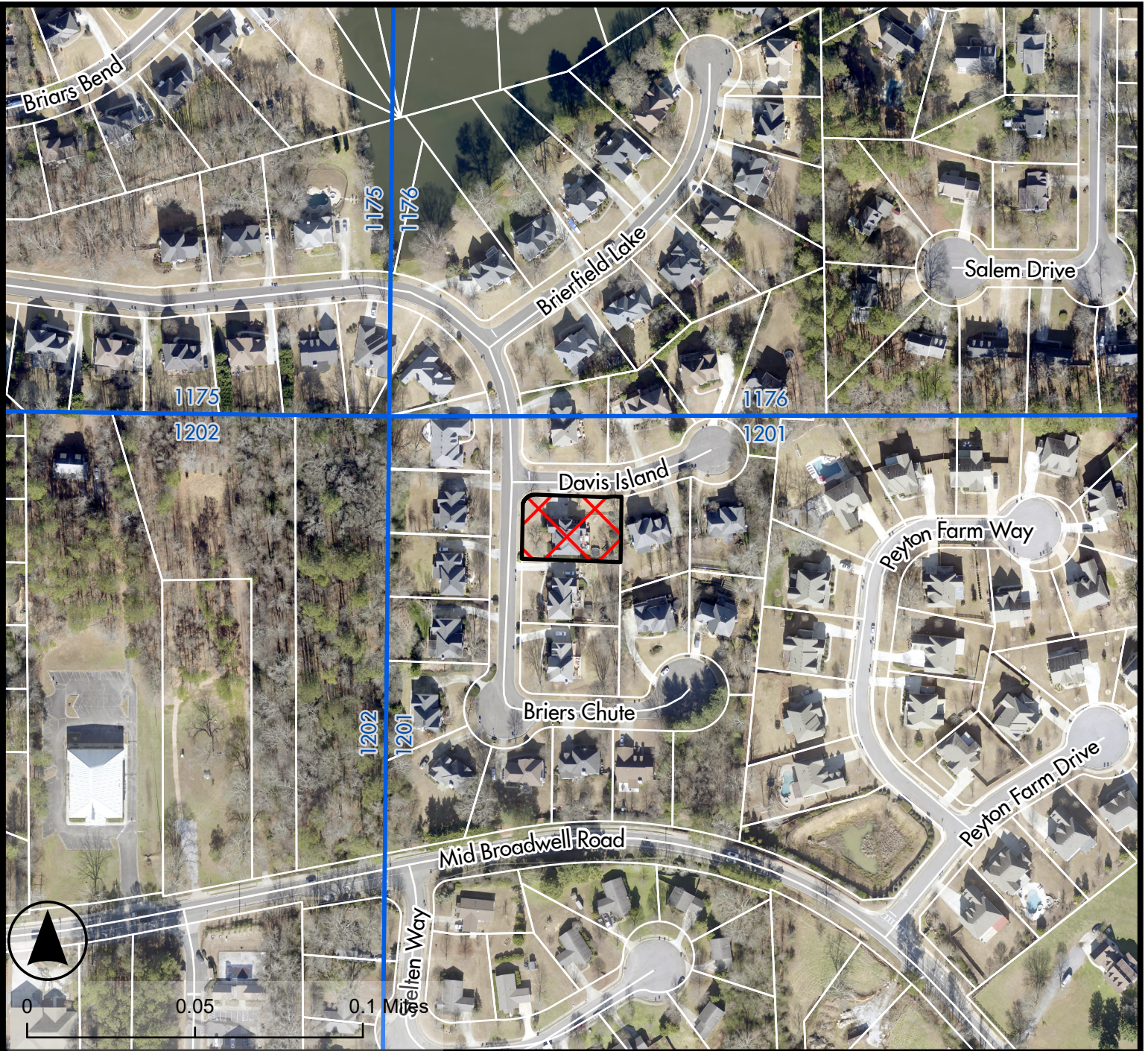
# Location Map

Kennedy/1600 Briers Chute





V-25-05

D/LL: 2/2/1201  
BZA: 4/17/2025





0 0.05 0.1 Miles

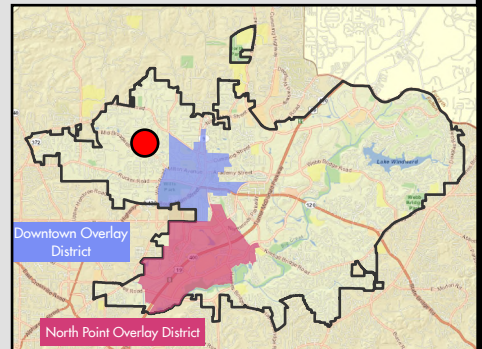
- Legend**
-  V-25-05
  -  Land Lots
  -  Tax Parcels
  -  Alpharetta City Limits

# Aerial Map

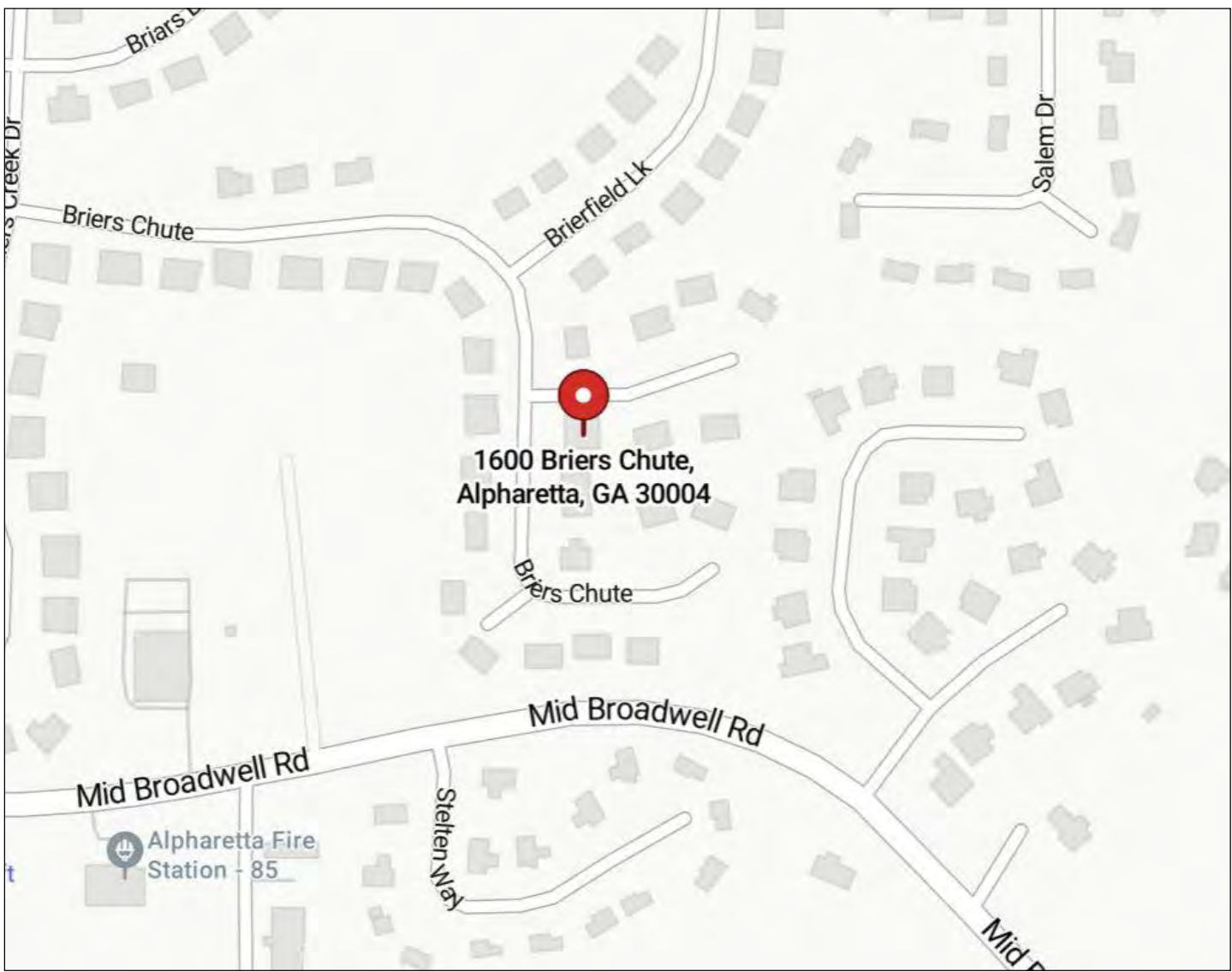
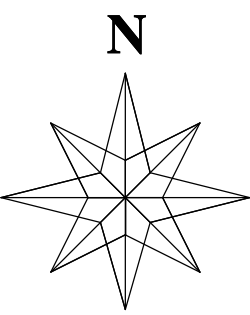
Kennedy/1600 Briers Chute

V-25-05

D/LL: 2/2/1201  
BZA: 4/17/2025

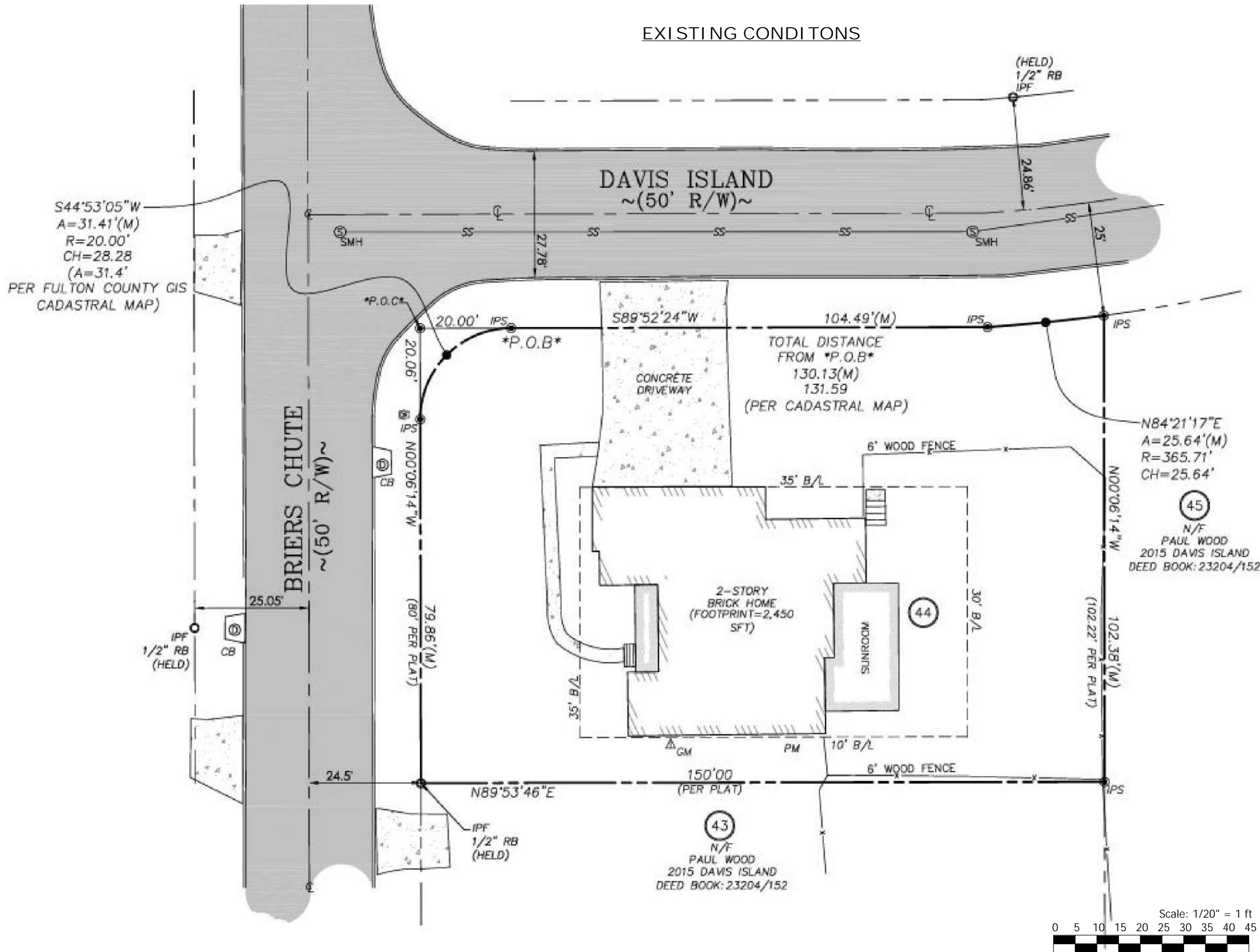


CONSTRUCTION PLANS FOR  
1600 BRIERS CHUTE  
ALPHARETTA, GA 30004



VICINITY

TOTAL SITE AREA  
14,924 SQ. FT.  
0.343 ACRES



ZONED R - 15  
FRONT = (35' LOCAL)  
REAR = 30'  
SIDE = 10'

PARCEL ID:  
22449012010941

INDEX

PAGE 1	COVER
PAGE 2	SITE PLAN
PAGE 3	BUILDING DETAILS

SITE PLAN PREPARED FOR  
THE KENNEDY RES.  
1600 BRIERS CHUTE  
ALPHARETTA, GA 30004

LOT 44, PHASE 3B  
BRIERFIELD SUBDV.  
LAND LOT 1201  
1st DIST, 2nd SECT.  
FULTON COUNTY, GA

CONTRACTOR:

CLASSIC  
POOL  
1301 IRON MOUNTAIN RD  
CANTON, GA 30115  
770-521-0708

24 HR CONTACT:  
BRANDY WELDY  
678-231-2665  
brandy@georgiaclassicpool.com

DATE:  
1/30/2025



FLOOD NOTE  
AS PER THE F.I.R.M. FLOOD INSURANCE RATE MAP CITY OF ALPHARETTA COMMUNITY PANEL NO. (13121 C-0054 F) DATED SEPTEMBER 18, 2013. THIS PROPERTY IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

\*\*\*RELEASED FOR  
CONSTRUCTION

**CITY OF ALPHARETTA GSWCC EROSION CONTROL PLAN:**

-THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.  
-EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE -NO DISTURBED AREAS TO BE EXPOSED MORE THAN 14 DAYS.

**NOTES:**

1. NO SILT FENCE WILL BE INSTALLED NOR ANY SITE WORK PRIOR TO APPROVAL FROM INSPECTOR.
2. TREE PROTECTION FENCE MUST BE INSTALLED ACCORDING TO APPROVED SITE PLAN AND CORNERS OF POOL MUST BE STAKED. WHEN THIS IS COMPLETED, CALL INSPECTOR AT 678-297-9200 TO SCHEDULE AN ON-SITE INSPECTION PRIOR TO ANY FURTHER LAND DISTURBANCE.
3. SILT FENCE MUST BE MAINTAINED THROUGHOUT THE PROJECT AND MUST NOT BE TRACKED ONTO ROADWAY.

ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO ROADWAY OR INTO STORM DRAIN SYSTEM SHALL BE REMOVED IMMEDIATELY BY SWEEPING. EXCESSIVE OFFSITE TRACKING MAY WARRANT THE INSTALLATION OF A CONSTRUCTION EXIT AT THE DISCRETION OF THE CITY OF ALPHARETTA INSPECTOR. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND.

**EROSION CONTROL SEEDING SCHEDULE (Ds1, Ds2, Ds3):**  
CONTRACTOR SHALL PROTECT ALL DISTURBED AREAS BY TEMPORARILY RE-SEEDING UNTIL PERMANENT GROUND COVER IS ESTABLISHED. (MAXIMUM 3 WEEKS).

**SOIL PREPARATION:**  
ADD 2 TONS OF LIME PER ACRE FOR PERMANENT GRASS. HAY MULCH FOR TEMPORARY COVER AT 5000 LBS. PER ACRE.

**TOP DRESSING:** APPLY WHEN PLANTS ARE 2-4 INCHES TALL.

**FERTILIZER:** (AMMONIUM NITRATE 33%) 300 LBS PER ACRE.

**SECOND YEAR FERTILIZER:** (5-10-15) OR EQUIVARIANT 500 LBS. PER ACRE.

**SEEDING RATES:**  
SUMMER 4-1-3/15 BERMUDA (HULLED) 10 LBS. PER ACRE  
COOL 9-1-11/1 FESCUE (KY-31) 50 LBS PER ACRE  
WINTER 11-1-4/15 ANNUAL RYE GRASS 50 LBS. PER ACRE

ZONED R - 15  
FRONT = (35' LOCAL)  
REAR = 30'  
SIDE = 10'  
  
PARCEL ID:  
22449012010941

PROPOSED SCOPE OF WORK:  
CONSTRUCTION OF NEW SHOTCRETE POOL W/ SPA, PAVER POOL DECKING, & RETAINING WALLS 2' MAX. LOCATION - REAR YARD.

LOD  
4,137 SF / .09 AC.

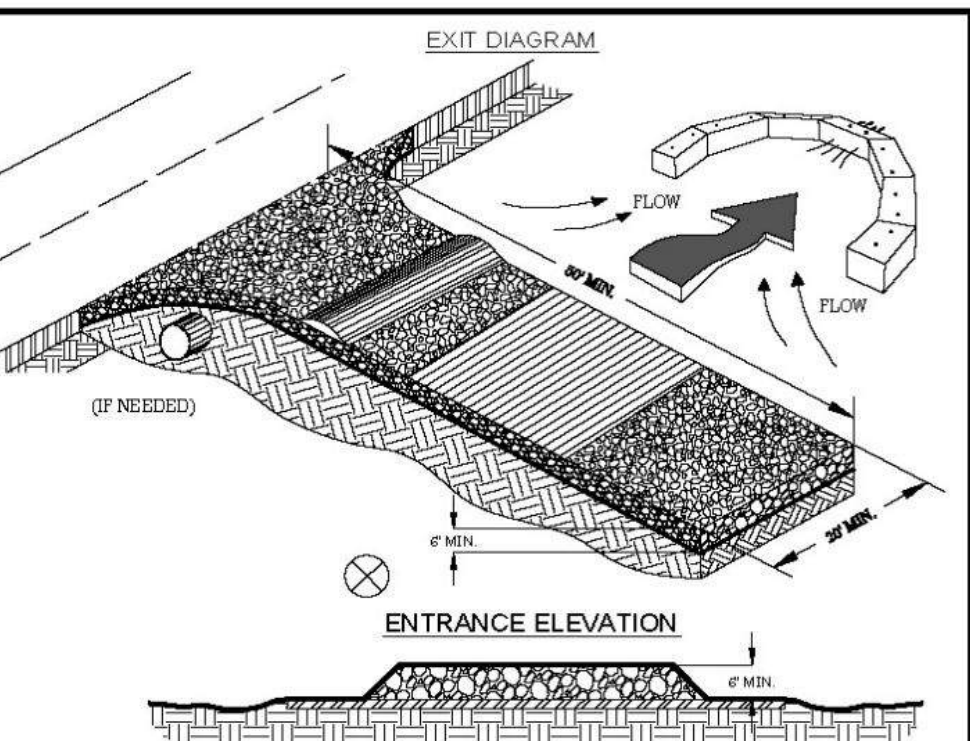
TOTAL SITE AREA  
14,924 SQ. FT.  
0.343 ACRES

EXISTING IMPERVIOUS COVER:		PROPOSED NEW IMPERVIOUS COVERAGE:	
BUILDING	= 2,450 SQ.FT.	POOL/SPA SURFACE	= 538 SQ.FT.
DRIVEWAY	= 1,187 SQ.FT.	POOL/SPA COPING	= 122 SQ.FT.
WALKWAY/CONC.PAD	= 202 SQ.FT.	PAVER POOL DECKING	= 660 SQ.FT.
PORCH/DECK	= 519 SQ.FT.	WALLS	= 31 SQ.FT.
TOTAL	= 4,358 SQ.FT.	POOL EQUIPMENT	= 12 SQ.FT.
		TOTAL NEW COVERAGE	= 1363 SQ.FT./9.13%
CALC = 4358/14924 = 0.292 = 29%		EXISTING 4358 + 1363 = 5721 SQ.FT. 5721/14924 = 38%	

**VEGETATIVE PRACTICES**

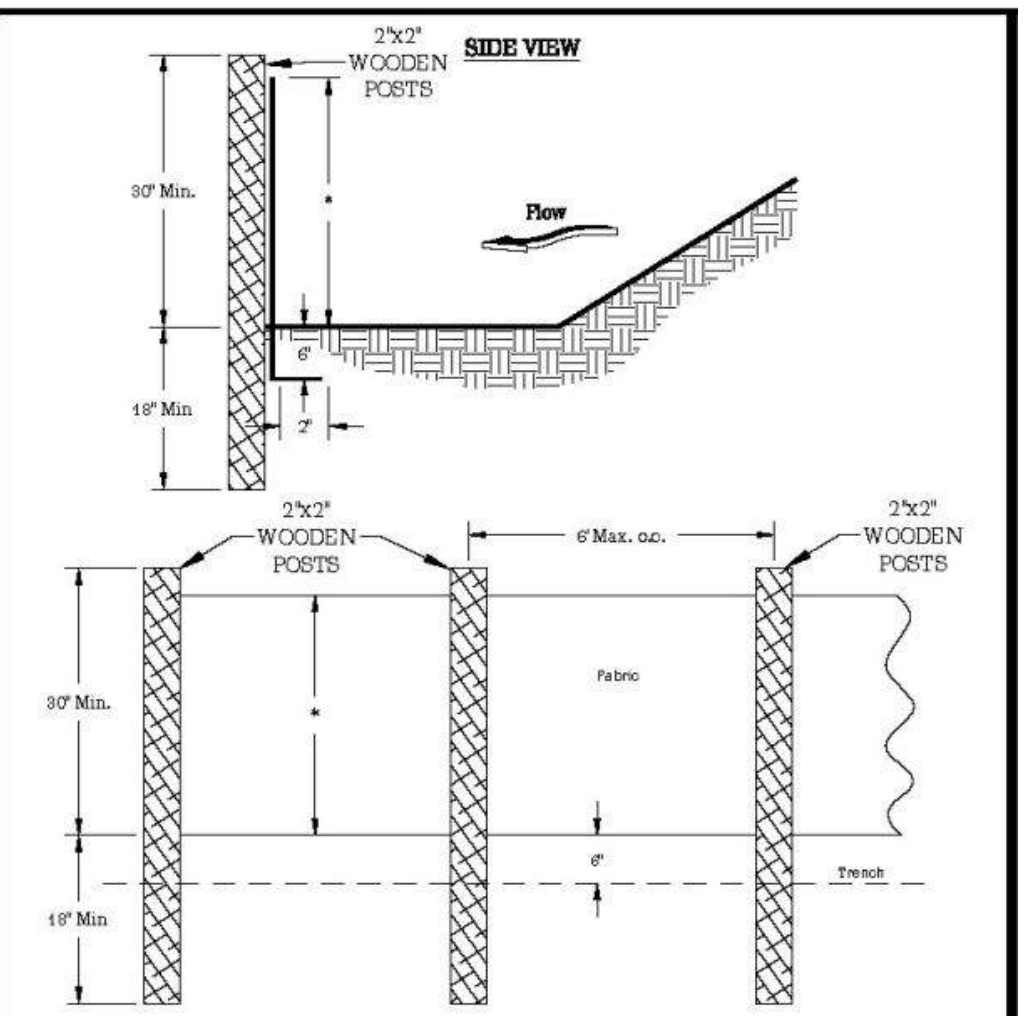
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	[Symbol]	Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)	[Symbol]	Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)	[Symbol]	Ds3	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SODDING)	[Symbol]	Ds4	A permanent vegetative cover using sods on highly erodible or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS	[Symbol]	Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.

ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BASED ON THE EX. CONDITIONS IF DEEMED NECESSARY BY THE ON-SITE INSPECTOR.

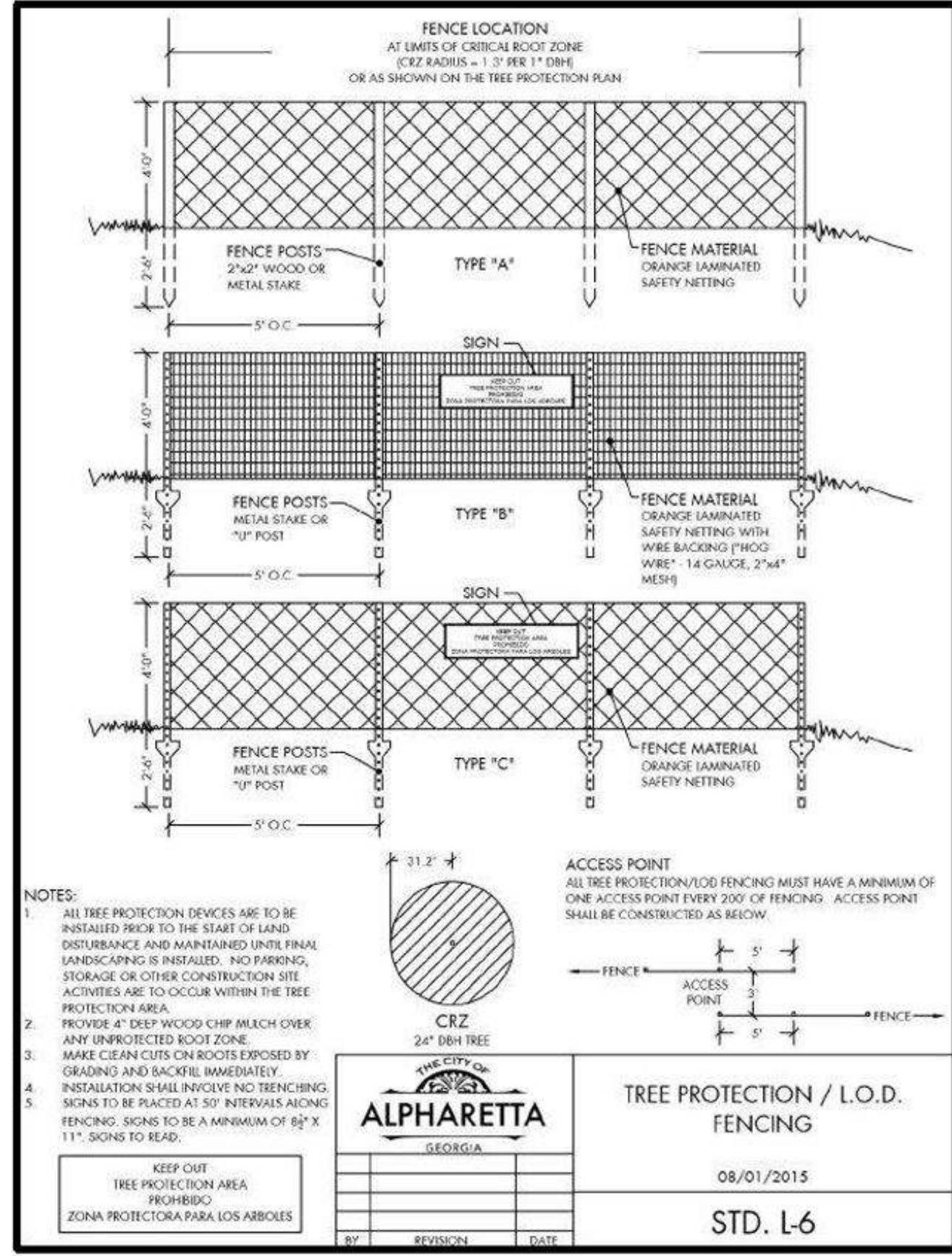


- NOTES:**
1. Avoid locating on steep slopes or at curves on public roads.
  2. Remove all vegetation and other unstable material from the foundation area, grade, and crown for positive drainage.
  3. Aggregate base shall be in accordance with National Stone Association R-2 (1.5"-3.5" Stone).
  4. Curb pad shall have a minimum thickness of 6".
  5. Pad width shall be equal full width at all points of vertical egress, but no less than 20".
  6. A diversion ridge should be constructed when grade toward area is greater than 2%.
  7. Install pipe under the entrance if needed to maintain drainage ditches.
  8. When watering is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin (over all surface runoff) and drop from the entrance to a sediment control device.
  9. Washrock and/or tire washers may be required depending on soils and circumstances. If necessary, washrock design must consist of any material suitable for truck traffic that removes mud and dirt.
  10. Maintain area in a way that prevents tracking and/or flow of mud onto public rights-of-ways. This may require top dressing, repair and/or cleanout of any measures used to trap sediment.

**Co** CRUSHED STONE CONSTRUCTION EXIT  
N.T.S.  
Figure 6-11.4



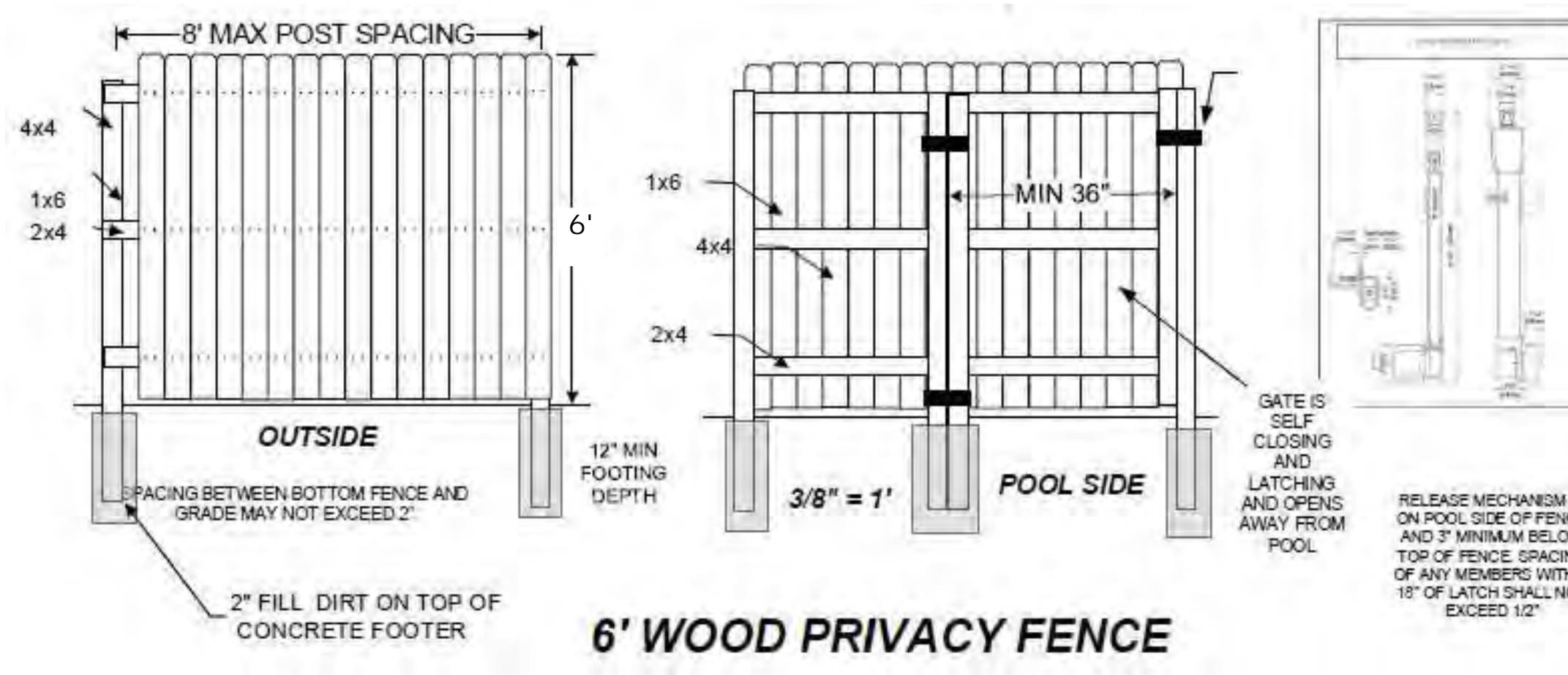
**Sd1-NS** SILT FENCE - TYPE NON-SENSITIVE  
N.T.S.  
Figure 6-20.4



**ARBORIST NOTE:**  
NO TREES TO BE REMOVED. NO TREES OR THEIR CRITICAL ROOT ZONES TO BE IMPACTED BY 10% OR MORE.

**POOL FENCES MUST INCLUDE AT LEAST ONE GATED EXIT WITH A MINIMUM WIDTH OF 36" WIDE. THIS EXIT MUST OPEN OUTWARD AND BE SELF CLOSING AND SELF LATCHING.**  
**THE MINIMUM HEIGHT OF A POOL FENCE MUST BE FIVE FEET AND THE MAXIMUM HEIGHT OF A POOL FENCE CANNOT EXCEED EIGHT FEET.**  
**FENCES AND WALLS USED AS BARRIERS, MAY NOT BE FINISHED WITH BRIGHT OR PRIMARY COLORS. IF ONLY ONE SIDE OF THE FENCE IS TO BE FINISHED, THE FENCE SHALL BE CONSTRUCTED WITH THE FINISHED SIDE TOWARD THE NEIGHBORING PROPERTY.**  
**FENCE MUST BE LOCATED 3' FROM THE RIGHT OF WAY AND GATES MUST BE 20" FROM RIGHT OF WAY MEASURED ALONG DRIVE.**

**ISFSC Section 305.4**  
Where a wall of a dwelling or structure serves as part of the barrier, doors and operable windows with a sill height of less than 48 inches that provide direct access to the aquatic vessel through the wall, shall be equipped with one or more of the following:  
1. An alarm that produces an audible warning when the door or its screen or window, is opened. The alarm shall be listed and labeled as a water hazard entrance alarm in accordance with UL 2017. In dwellings or structures not required to be accessible units, Type A units or Type B units, the deactivation switch shall be located 54 inches or more above the threshold of the door. In dwellings or structures required to be accessible units, Type A units or Type B units, the deactivation switch shall be located not greater than 54 inches and not less than 48 inches above the threshold of the door.



SITE PLAN PREPARED FOR THE KENNEDY RES.  
1600 BRIERS CHUTE  
ALPHARETTA, GA 30004

LOT 44 PHASE 3B  
BRIERFIELD SUBDV.  
LAND LOT 1201  
1st DIST., 2nd SECT.  
FULTON COUNTY, GA

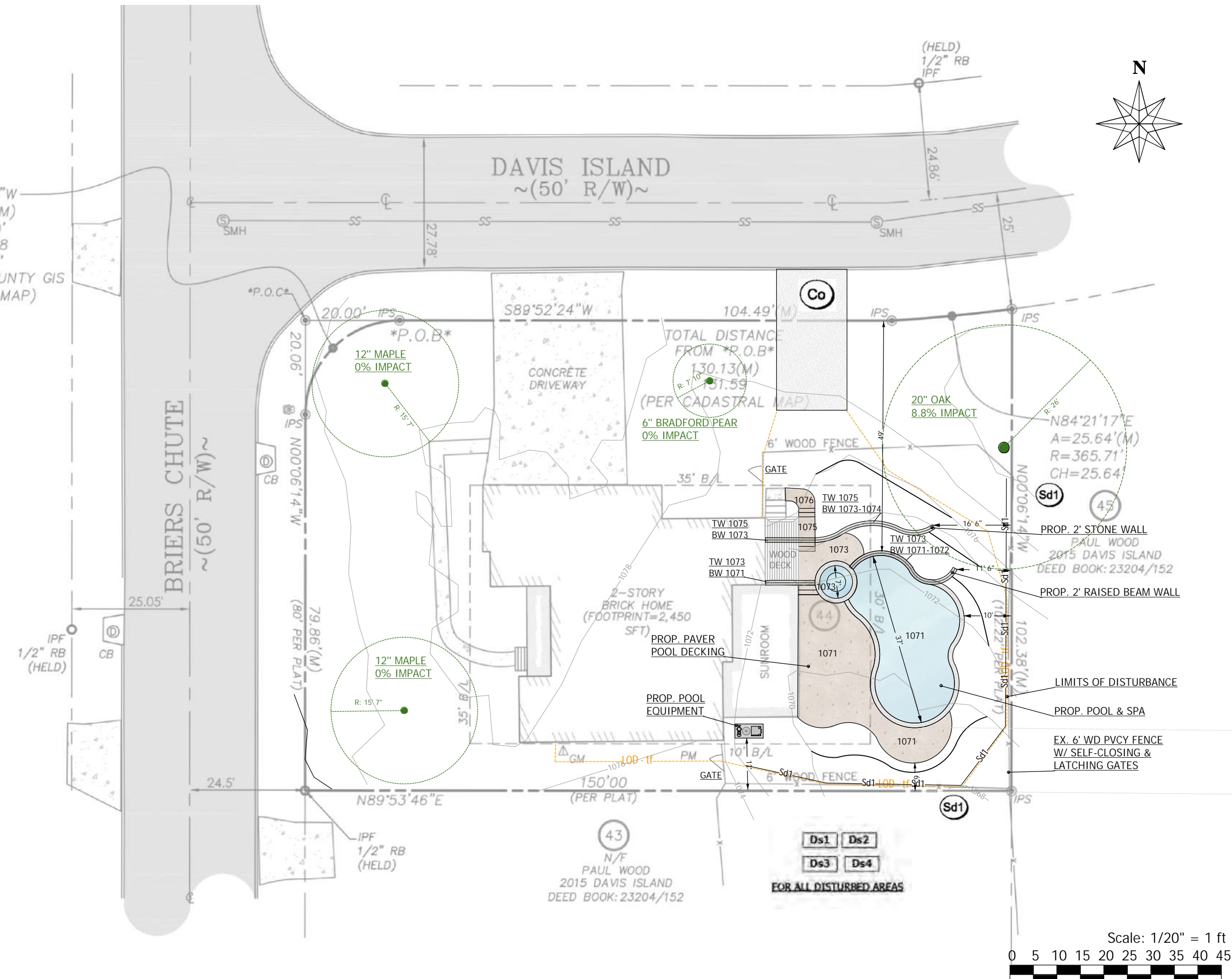
CONTRACTOR:  
**GEORGIA CLASSIC POOL**  
1301 IRON MOUNTAIN RD  
CANTON, GA 30115  
770-521-0708

24 HR CONTACT:  
**BRANDY WELDY**  
678-231-2665  
brandy@georgiaclassicpool.com

DATE:  
1/30/2025

**IF YOU SEE GEORGIA, CALL US FIRST**  
1-800-282-7411  
770-521-4344 (METRO ATLANTA ONLY)  
UTILITY PROTECTION CENTER  
IT'S THE LAW

\*\*\*RELEASED FOR CONSTRUCTION



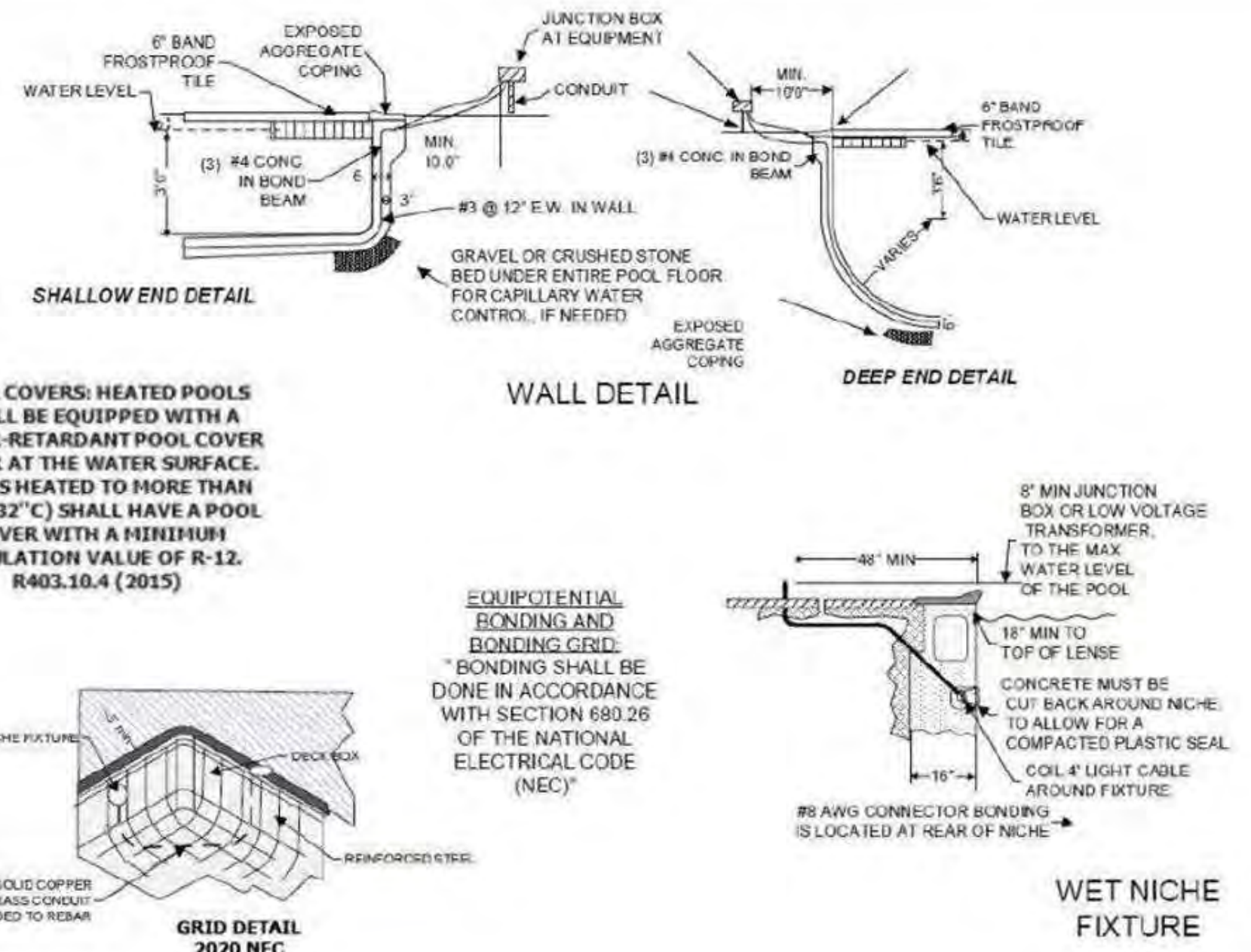
**NOTES:**  
 1. #3 (3/8") REBAR SCHED. 40 SPEC. 615 USED THROUGHOUT POOL EXCEPT IN BEAM  
 2. STEEL WILL BE 12" O.C. EXCEPT IN BOND BEAM.  
 3. STARTING AT 8 1/2" DEPTH AND RUNNING AROUND THE DEEP END BOWL TO THE OPPOSITE SIDE OF THE POOL AT THE 6 1/2" DEPTH. #3 REBAR SHALL BE INSTALLED ON 12" CENTERS 10" LONG BARS WILL START AT THE TOP OF THE BEAM AND BE SPLICED INTO THE FLOOR.  
 4. ALL STEEL TO BE CONTINUOUS BY SPLICING.  
 5. ALL SPLICES SHOULD BE APPROXIMATELY 18" WITH A MINIMUM OF 12" AND TWO TIES.  
 6. ALL STEEL WILL BE BLOCKED 2" OFF DIRT.  
 7. ADD #3 @ 10.0" LONG @ 12" VERT. MAKING A TOTAL OF #3 VERT. @ 6" O.C. #3 TO BEGIN 2'0" INTO THE FLOOR & EXTEND UPWARD INTO THE WALL. ADD #3 @ 6" O.C. 2' INTO SHALLOW END EXTENDING DOWN BREAK 2' DEEP INTO THE DEEP END FLOOR.

POOL WILL HAVE AN ENCLOSED CARTRIDGE FILTER SYSTEM  
 MAIN DRAINS LOCATED IN DEEP END FOR FILTRATION ONLY; OVERFLOW TO DRAIN TOWARDS BACK SIDE OF PROPERTY  
 BACKFLOW PREVENTER ATTACHED AT HOSE BIB

ALL PUMP MOTORS AND WET NICHES ARE PROTECTED WITH GFCI OVERCURRENT DEVICES

**POOL EQUIPMENT:**  
 PUMP: JANDY VARIABLE SPEED PUMP 2 HP  
 FILTER: CL420 CARTRIDGE  
 CHEMICAL TYPE: SALT  
 LIGHTING: 4 24W LED, 1 6W LED  
 HEATER: 399K BTU  
 REINFORCEMENT: STEEL Cx12 INCH  
 REBAR SIZE: #3 3/8"  
 RETURNS: 2w/2" PIPE  
 SKIMMERS: 1w/2" PIPE  
 DRAIN: VGB COMPLIANT, DOUBLE ANTI VORTEX  
 CLEANER: ALPHA IQ PLUS  
 COPING: FLAGSTONE  
 TILE: 6x6 PORCELAIN  
 INSIDE FINISH: PEBBLE TEC

CURRENT APPLICABLE CODES FROM 2018 ISPC CODE WITH GEORGIA AMENDMENTS (2020)  
 \*\*\*RELEASED FOR CONSTRUCTION



SITE PLAN PREPARED FOR THE KENNEDY RES.  
 1600 BRIERS CHUTE  
 ALPHARETTA, GA 30004

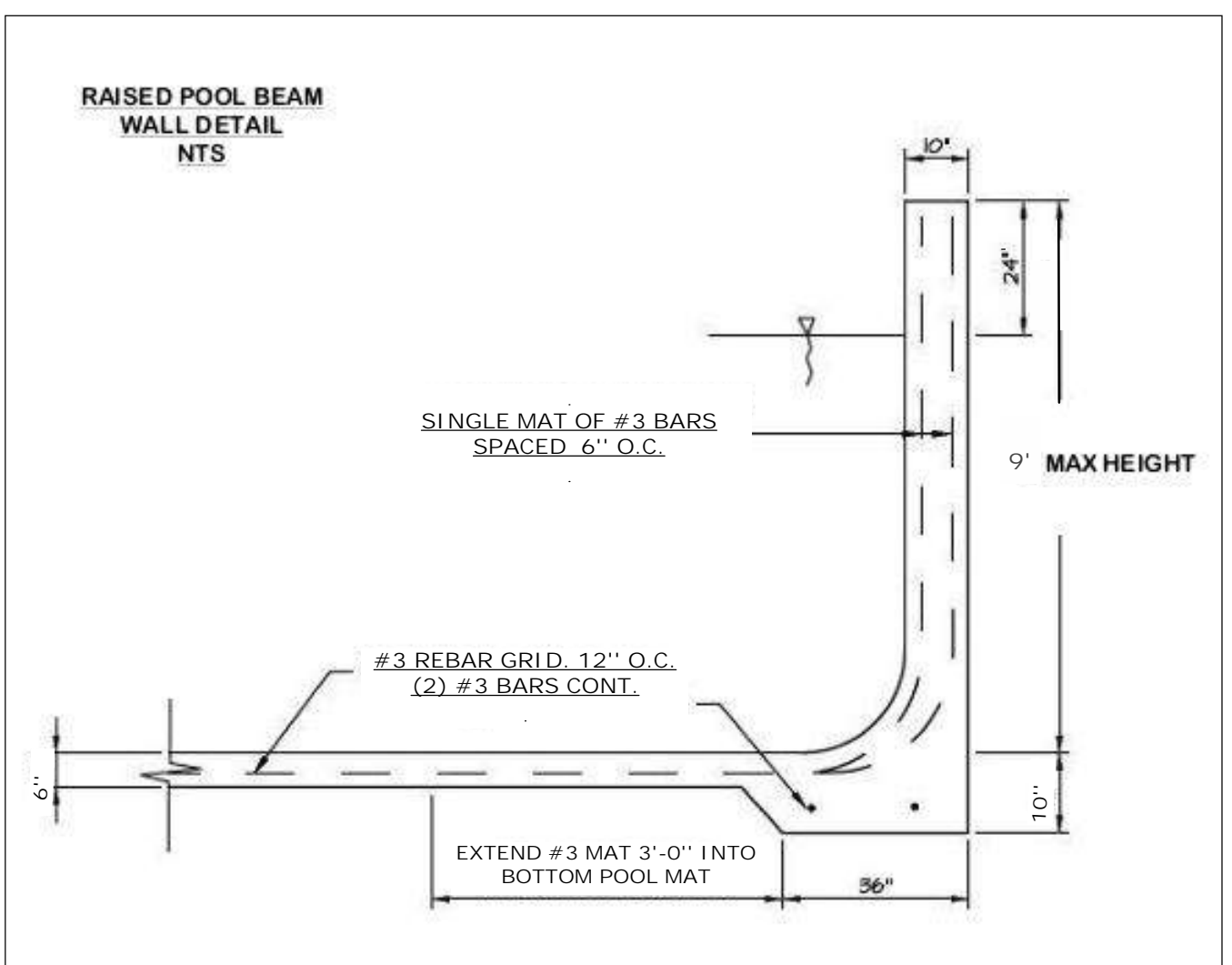
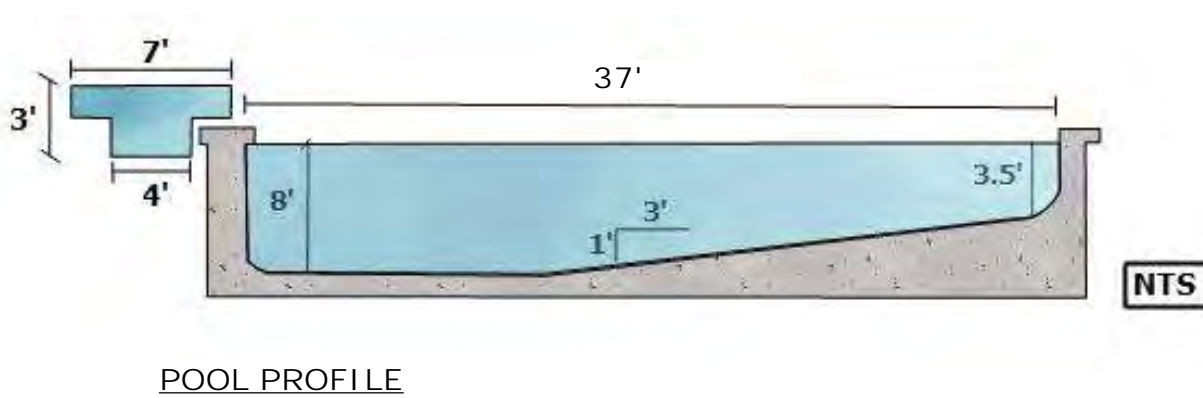
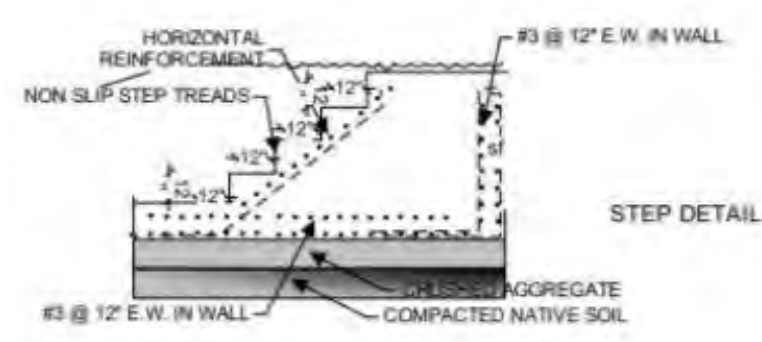
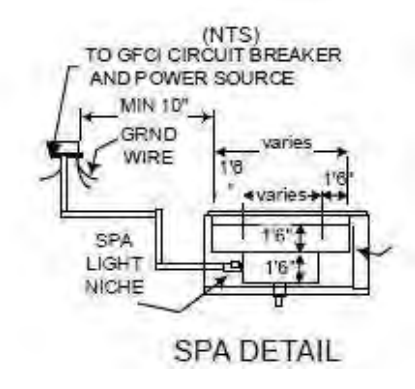
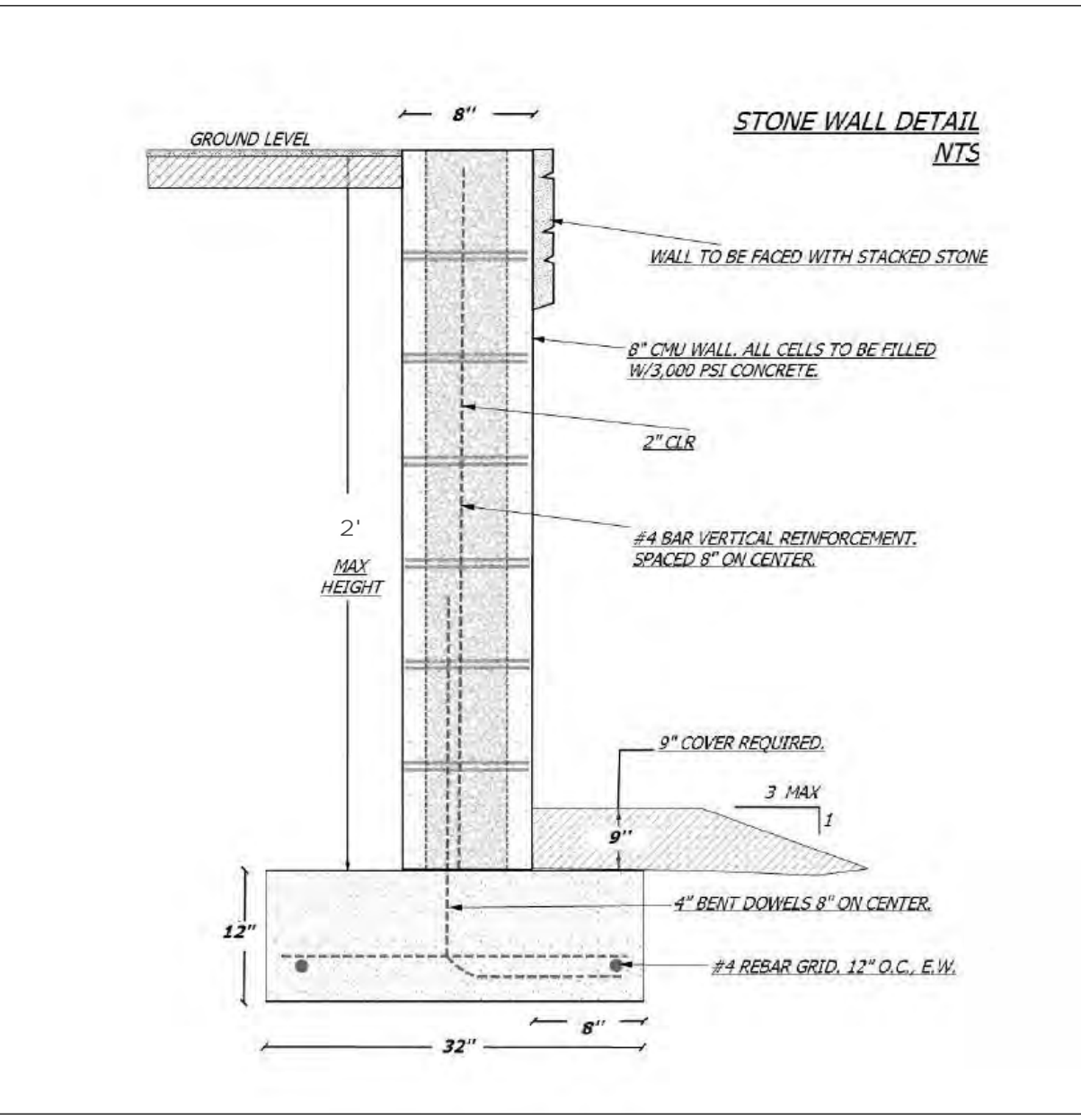
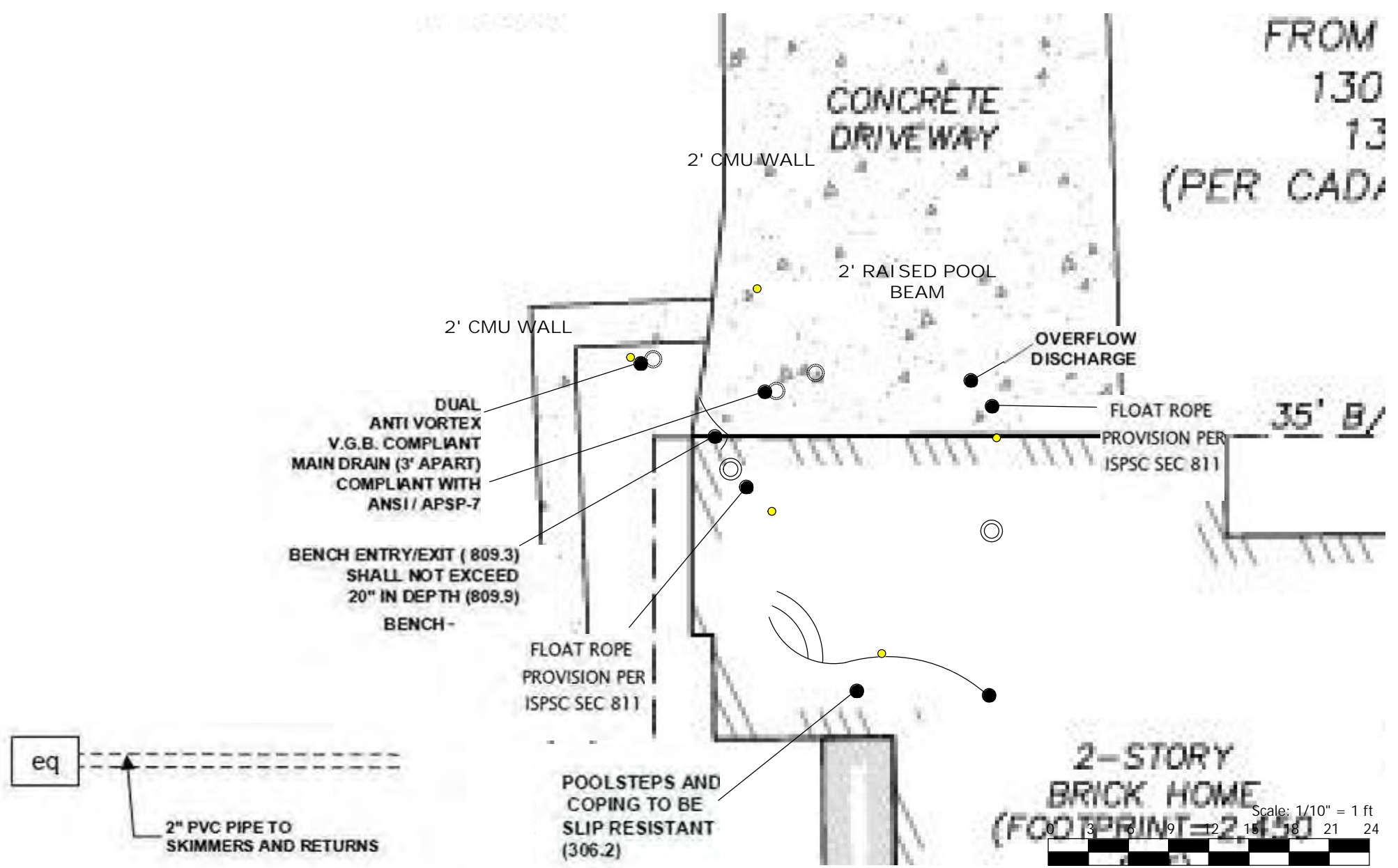
LOT 44, PHASE 3B  
 BRIERFIELD SUBDV.  
 LAND LOT 1201  
 1st DIST., 2nd SECT.  
 FULTON COUNTY, GA

CONTRACTOR:

CLASSIC POOL  
 1301 IRON MOUNTAIN RD  
 CANTON, GA 30115  
 770-521-0708

24 HR CONTACT:  
 BRANDY WELDY  
 678-231-2665  
 brandy@georgiaclassicpool.com

DATE:  
 1/30/2025



**AVSCO**  
 ANTI-VORTEX SINGLE CHANNEL DRAIN  
 The Anti-Vortex Single Channel Drain combines safety, innovation and easy installation.

**TRULY ONE OF A KIND**  
 The only drain of its kind available. Get peace of mind with our maximum safety drain that also cleans your pool metal only once a year for up to two pumps. Requires minimum plumbing yet provides maximum protection and compliance with anti-entrapment codes.

**FEATURES:**  
 Available in two models, Single & Dual Inlet.  
 With the dual inlet design and a flow rate of 227 GPM, pool builders can use one AVSCO Drain for two pumps. Think of the savings!  
 The AVSCO Drain comes with:  
 Pre-installed pressure test plug.  
 80 safety-protected Torx® screws to secure the cone.  
 Connection Covers.  
 Available in multiple colors.  
 Optional hydrostatic valve connection.

**UNBLOCKABLE**  
 Designed with large opening for large debris removal. Most other certified drains use for circulation only.  
 Requires no vent line or 3/16" per ANSI/APSP-7 standard.  
 Perfect for spas, negative-slanting edges, fountains, sheer descents and all other water features.  
 Easy installation.

**SAFETY ENGINEERED**  
 Listed and certified by NSF International to the Virginia Graeme-Baker Act and ASME/ANSI A112.19.2a-2009 and is Certified up to 227 GPM.  
 List by NSF 50.  
 Full compliance with anti-entrapment codes.  
 Throw away cover to provide protection during construction.  
 Dual levels of protection with the AVSCO safety buffer providing a second level of protection in the event the main cover is removed.

**SAFETY FIRST**  
 Safety buffer over interior inlet.

**Easy installation right out of the box**

**UNBLOCKABLEDRAIN.COM**  
**A&A INDUSTRIES**

**SAFETY VACUUM RELEASE SYSTEM (SVRS)**

**MANUFACTURED BY VAC-ALERT INDUSTRIES, LLC**  
 FORT PIERCE, FLORIDA  
 www.vac-alert.com

Vac-Alert® Model VA-2000 SVRS Unit Reacts In Less Than A Second To Quickly Release Dangerous Pump Suction Vacuum.

A Totally Mechanical, Non-Electric Safety System. The VA-2000 SVRS is Easy To Install, Adjust And Test.

Vac-Alert's Fail Safe Design is Manufactured With Only Engineered Plastics And Type 316 Stainless Steel For Long-Life And Reliable Service.

The VA-2000 SVRS Provides A Critical Layer Of Protection Against Body Or Limb Drain Suction Entrapment.

Tests Conducted By Independent, Third Party Laboratory Demonstrate That Vac-Alert's Model VA-2000 Meets Or Exceeds The Performance Requirements Of ASME/ANSI A112.19.17 - Manufactured Safety Vacuum Release Systems.

The VA-2000 SVRS is Backed By A 3-Year Limited Manufacturer's Warranty.

FOR SALES AND SERVICE CONTACT:



\*\*\*RELEASED FOR CONSTRUCTION

# CITIZEN PARTICIPATION FORM - PART B

*This form must be completed and submitted to the City of Alpharetta Community Development Department a minimum of twenty (20) working days prior to the scheduled Public Hearing. Failure to do so will result in cancellation of the scheduled hearing.*

Public Hearing or Project Name: Kennedy Pool

Contact Name: Ashley Dover Telephone: 404-863-2450

Please describe comments and concerns provided by any and all individuals contacted as part of the the Citizen Participation Program. If any individuals provided written correspondence, please attach copies of same to this report.

Kathleen Wood -2015 Davis Island - Approved/Supported

Debbie Wright - 1610 Briers Chute - Approved/Supported


HOA - approved/supported

Method by which these individuals were contacted. Please mark all that apply. *Please provide samples of any and all written communications used to provide notification.*

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Letter | <input type="checkbox"/> Personal Visits                     |
| <input type="checkbox"/> Telephone         | <input type="checkbox"/> Group Meeting                       |
| <input type="checkbox"/> Email             | <input type="checkbox"/> Other <i>(Please Specify)</i> _____ |

Attach a list of people who have been notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified.

*I, the undersigned, as an authorized representative of the applicant and Public Hearing item identified above, do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Citizen Participation Form - Part B and in any and all documents provided in support of this report are true and accurate. I further understand that any false statements provided by representatives of the applicant as part of this report may result in penalties up to and including denial of the subject application.*

Signature of Authorized Agent:  Date: 3/19/2025

Print Form

Brierfield Homeowners Association Inc  
1465 Northside Drive NW, Suite 128  
Atlanta, GA 30318

February 25, 2025

KEVIN & DEBBIE KENNEDY  
1600 BRIERS CHUTE  
Alpharetta, GA 30004

Reference: 1600 BRIERS CHUTE

Dear KEVIN KENNEDY,

Your Request for an Architectural Modification on your property at 1600 BRIERS CHUTE has been approved by the Architectural Review Committee of Brierfield Homeowners Association Inc. Specifically, you have approval to proceed with the following request:

Request Type:

Pool Building new pool. See attached site plan

Additional Info (if any):

Your ARC for pool and fence have been approved as submitted.

This approval is contingent with the specifications set forth in the approved application. Any changes from the approval description must be submitted again for review and approval.

Please note that the ARC reserves the right to make a final inspection to ensure that your project is compliant with the Architectural Design Standards applicable to your neighborhood and if your change or addition requires a County, City or State permit, it must be obtained before construction.

Thank you for adhering to the architectural guidelines of the community. We appreciate your patience while this information was being reviewed. Please retain this letter for your files.

If you have any questions, please log into your account at <https://cmacommunities.com>.

Sincerely,

Liza Marie Jimenez  
Community Association Manager  
Community Management Associates, Inc.  
Agent for Brierfield Homeowners Association Inc  
(404) 835-9100  
<https://cmacommunities.com>

RE: Neighbor Support

Paul Wood

2015 Davis Island Alpharetta, GA 30004

I am a neighbor of Kevin Kennedy, located at 1600 Briers Chute. I have seen the proposed plans for his swimming pool. I am in support of his variance request.

Signature: Paul W. Wood

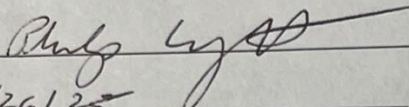
Date: 2/26/2025

RE: Neighbor Support

Phillip Wright

1610 Briers Chute Alpharetta, GA 30004

I am a neighbor of Kevin Kennedy, located at 1600 Briers Chute. I have seen the proposed plans for his swimming pool. I am in support of his variance request.

Signature: 

Date: 2/26/25

# CITY OF ALPHARETTA

## PUBLIC HEARING APPLICATION

FOR OFFICE USE ONLY  
Case #: PHA25002  
PH #: V-25-05  
 Property Taxes & Code Violations Verified  
 Fee Paid Initial: HC

COMMUNITY DEVELOPMENT DEPARTMENT • 2 PARK PLAZA • ALPHARETTA, GA 30009

1. This page should be the first page in each of your completed application packets.
2. It is preferred that all responses be typed. Illegible applications will not be accepted.
3. Prior to signing and submitting your application, please check all information supplied on the following pages to ensure that all responses are complete and accurate. Incomplete applications will not be accepted.
4. Payment of all applicable fees must be made at the time of application. Payment may be made via cash, credit card (American Express, Master Card or Visa), or check made payable to "City of Alpharetta." Please note that a 3% convenience fee will be added to all credit card transactions.
5. Applications will be accepted on the designated submittal dates between the hours of 8:30 AM and 3:30 PM.
6. If you have any questions regarding this form, please contact the Community Development Department by calling 678-297-6070.

### Contact Information:

Contact Name: Ashley Dover Telephone: 404-863-2450  
Address: 1301 Iron Mtn Road Suite: \_\_\_\_\_  
City: Canton State: GA Zip: 30115 Fax: \_\_\_\_\_  
Mobile Tel: 404-863-2450 Email: ashley@georgiaclassicpool.com

### Subject Property Information:

Address: 1600 Briers Chute Current Zoning: R-15  
District: 1st Section: 2nd Land Lot: 1201 Parcel ID: 22449012010941  
Proposed Zoning: R-15 Current Use: Residential Single Family

### This Application For (Check All That Apply):

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Conditional Use     | <input type="checkbox"/> Master Plan Amendment  | <input type="checkbox"/> Comprehensive Plan Amendment |
| <input type="checkbox"/> Rezoning            | <input type="checkbox"/> Master Plan Review     |   |
| <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> Public Hearing         |   |
| <input type="checkbox"/> Exception           | <input type="checkbox"/> Other (Specify): _____ |   |

---

## APPLICANT REQUEST AND INTENT

---

What is the proposed use(s) of the property?

This is a residential single family home lot. We are proposing to build a swimming pool in the rear of the home.

Applicant's Request (Please itemize the proposal):

Request for a variance of 10 ft to the rear property line to allow for a swimming pool.

Applicant's Intent *(Please describe what the proposal would facilitate).*

The proposal, if approved, would facilitate the construction of a swimming pool in the rear yard.

# PROPERTY OWNER AUTHORIZATION

**Property Owner Information:**

Contact Name: Kevin Kennedy Telephone: 678-592-5459

Address: 1600 Briers Chute Suite: \_\_\_\_\_

City: Alpharetta State: GA Zip: 30004

**Authorization:**

*I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of Fulton County, Georgia, of the property identified below, which is the subject of the attached Application for Public Hearing before the City of Alpharetta, Georgia.*

*As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Public Hearing in request of the items indicated below.*

- Annexation
- Special Use
- Rezoning
- Conditional Use
- Variance
- Master Plan
- Land Use Application
- Other

**Property Owner's Authorized Applicant (if applicable):**

Name of Authorized Applicant: Ashley Dover Telephone: 404-863-2450

Address: 1301 Iron Mountain Road Suite: \_\_\_\_\_

City: Canton State: GA Zip: 30115

**So Sworn and Attested:**

Owner Signature: *K. Kennedy* Date: 1/31/2025

**Notary:**

**BRANDY J. WELDY**  
NOTARY PUBLIC  
Cherokee County, State of Georgia  
My Commission Expires 02/09/2026

Notary Signature: *Brandy J. Weldy* Date: 2/3/2024

# DISCLOSURE FORM

The Official Code of Georgia Annotated requires disclosure of campaign contributions to government officials by an applicant or opponent of a rezoning or public hearing petition (O.C.G.A. 36-67 A-1).

Applicants must file this form with the City of Alpharetta Community Development Department within ten (10) days after filing for rezoning or public hearing. Opponents to a rezoning or public hearing petition must file this form five (5) days prior to the Planning Commission meeting at which the subject rezoning or public hearing petition is scheduled to be heard.

Name of Applicant or Opponent: Ashley Dover

Subject Public Hearing Case: PHA250002

## Campaign Contribution Information:

Please provide the requested information for each contribution with a dollar amount or value of \$250 or more made within the past two (2) years to an Alpharetta Official by the individual identified above. Please use a separate form for each Alpharetta Official to whom such a contribution as been made.

If the individual identified above has made no such contributions to an Alpharetta Official within the past two (2) years, please indicate this by entering "N/A" on the appropriate lines below.

Name of Official: N/A Position: N/A

Description of Contribution: N/A Value: N/A

Description of Contribution: N/A Value: N/A

Description of Contribution: N/A Value: N/A

Description of Contribution: N/A Value: N/A

Description of Contribution: N/A Value: N/A

## Campaign Contribution Information:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Disclosure Form is true and accurate and that I have disclosed herein any and all campaign contributions made to an Official of the City of Alpharetta, Georgia in accordance with O.C.G.A. 36-67 A-1.

Signature: 

Date: N/A

---

# BOARD OF ZONING APPEALS REVIEW CRITERIA

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Please respond to the following ONLY if you are applying for a zoning variance.

Are there extraordinary and exceptional conditions pertaining to the subject property because of its size, shape, or topography? Please describe them.

An extraordinary or exceptional condition pertaining to this property is the fact that it is a corner property, with two street fronts. The house is set back off the front and side property line further than non-corner lots, limiting the available space in the rear of the home for a pool.

Would the application of the Zoning Code standards as they relate to the subject property create an unnecessary hardship? Please explain.

The Zoning Code standards would create an unnecessary hardship if applied here because it would force the pool very close to the house, making it difficult to build the proposed pool.

Are there conditions that are peculiar to the subject property? Please describe them in detail.

A condition that is differing from other properties is the fact that this is a corner lot. Instead of the house having one front large front setback, it essentially has two large setbacks on each street front side, forcing the house to the other side and rear property lines, more so than a typical property with only one street front.

Would relief, if granted, cause substantial detriment to the public good or impair the purpose and intent of the Zoning Code? Please defend your response.

If relief was granted, there would not be any detriment to the public good or impair the purpose and intent of the Zoning Code. We are still proposing to be 10' off the rear property line.

On a separate sheet or sheets, please provide any information or evidence that supports your request and the statements that you have provided in this application.

# CITIZEN PARTICIPATION FORM - PART A

*This form must be completed and submitted with the applicant's completed Public Hearing Application. Applications submitted to the City of Alpharetta without a completed Citizen Participation Form - Part A will not be accepted.*

Public Hearing or Project Name: Kennedy Pool

Contact Name: Ashley Dover Telephone: 404-863-2450

*The following people will be notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified. Use additional pages as needed.*

Kathleen Wood

2015 Davis Island

Debbie Wright

1610 Briers Chute

Method by which these individuals will be contacted. Please mark all that apply. *If you select "Other," please provide a description of the method of contact that will be used.*

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Letter | <input type="checkbox"/> Personal Visits               |
| <input type="checkbox"/> Telephone         | <input type="checkbox"/> Group Meeting                 |
| <input type="checkbox"/> Email             | <input type="checkbox"/> Other <i>(Please Specify)</i> |

Please describe the method(s) by which these individuals will have the opportunity to respond or contact the applicant with questions or concerns about the proposal.

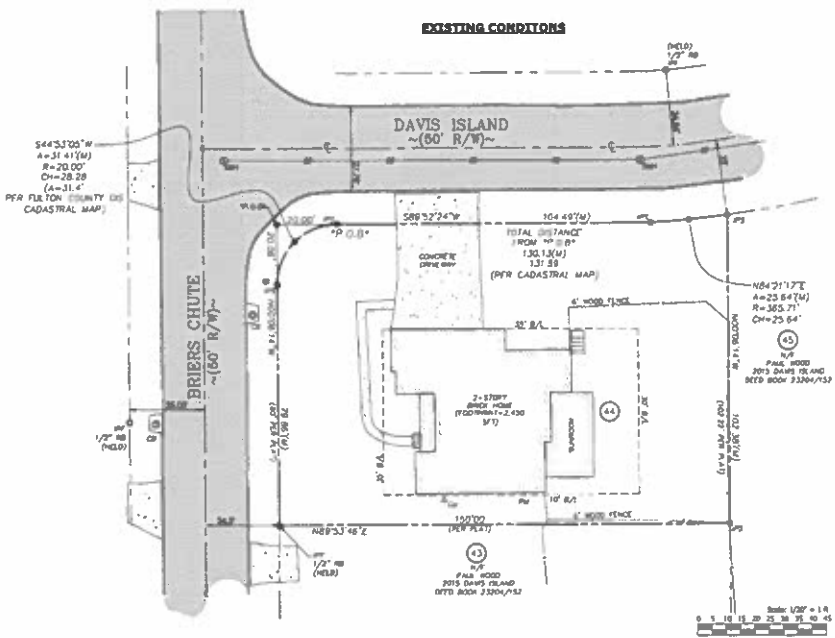
Letter delivered by Homeowner.

**CONSTRUCTION PLANS FOR**  
**1600 BRIERS CHUTE**  
**ALPHARETTA, GA 30004**



VICINITY

TOTAL SITE AREA  
14,924 SQ. FT.  
0.343 ACRES



ZONED R-15  
MOB = 150' LOCAL  
REAR = 30'  
SIDE = 10'

PARCEL ID:  
2244901201091

**INDEX**  
PAGE 1 COVER  
PAGE 2 SITE PLAN  
PAGE 3 BUILDING DETAILS

**FLOOD NOTE**  
AS PER THE F.I.R.M. FLOOD INSURANCE RATE MAP CITY OF ALPHARETTA COMMUNITY  
PARCEL NO. (13121 C-0034 F) DATED SEPTEMBER 18, 2013. THIS PROPERTY IS NOT IN AN AREA  
HAVING SPECIAL FLOOD HAZARD.

**PAGE 1 COVER**

SITE PLAN PREPARED FOR:  
THE KENNEDY RES.  
1600 BRIERS CHUTE  
ALPHARETTA, GA 30004

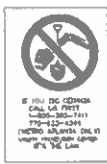
LOT 44 PHASE 3B  
BRIERFIELD SUBDIV.  
LAND LOT 1201  
1st DIST. 2nd SECT.  
FULTON COUNTY, GA

CONTRACTOR:

CLASSIC  
1363 IRON MOUNTAIN RD  
CANTON, GA 30115  
770-521-8708

24 HR CONTACT:  
BRANDY WELBY  
678-331-3663  
brandy@georgiaindustrial.com

DATE:  
1/30/2025



\*\*RELEASED FOR CONSTRUCTION





# Real Estate

**View Bill**

---

**As of** 2/3/2025

**Bill Year** 2024

**Bill** 2416055

**Owner** KENNEDY KEVIN J &

**Parcel ID** 22 -4490-1201-094-1

Installment	Pay By	Amount	Payments/Credits	Balance	Interest	Due
1	12/1/2024	\$847.95	\$847.95	\$0.00	\$0.00	\$0.00
<b>TOTAL</b>		\$847.95	\$847.95	\$0.00	\$0.00	\$0.00