



HISTORIC PRESERVATION COMMISSION MEETING SEPTEMBER 10, 2026

ALPHARETTA CITY HALL
COUNCIL CHAMBERS
2 PARK PLAZA
3:00 PM

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **APPROVAL OF MEETING MINUTES**
 - a. **Approve Workshop Minutes of 5-21-26**
4. **PUBLIC HEARING**
 - a. **Announcement of Public Hearing Procedure**
 - b. **PH-26-15 John C. Weatherford House/193 Canton Street – Certificate of Appropriateness**

Consideration of a request for Certificate of Appropriateness related to the rehabilitation of the John C. Weatherford House. The property is located at 193 Canton Street and is legally described as being located in Land Lots 1197 & 1252, 2nd District, 2nd Section, Fulton County, Georgia.
5. **ITEMS FROM BOARD MEMBERS**
6. **ITEMS FROM STAFF**
7. **ADJOURNMENT**



HISTORIC PRESERVATION COMMISSION MEETING

STAFF REPORT

SUBMITTING DEPARTMENT: COMMUNITY DEVELOPMENT

SUBMITTED BY: KATHI COOK

DRAFTED BY: MICHAEL WOODMAN

I. AGENDA ITEM TITLE: PH-26-15 JOHN C. WEATHERFORD HOUSE/193 CANTON STREET - CERTIFICATE OF APPROPRIATENESS

HISTORIC PRESERVATION COMMISSION: SEPTEMBER 10, 2026

II. RECOMMENDATION:

Approve PH-26-15 John C. Weatherford House/193 Canton Street - Certificate of Appropriateness, subject to the following conditions:

1. Exterior rehabilitation and addition to the John C. Weatherford House shall be substantially similar to the submitted plans prepared by LMA, dated 7/30/26, except for changes required to comply with the recommendations and markups from the Downtown Consultant, as approved by Staff.
2. Developer shall follow U.S. Secretary of the Interiors Standards for Rehabilitation Standards 2, 5 & 6. Developer shall make reasonable efforts to save and repair existing exterior materials/features/details, such as the chimneys, windows, doors, roof tiles, siding, and other original features on the exterior of the structure, as approved by Staff. If exterior materials must be replaced due to the severity of deterioration or life safety, developer shall submit a request to the City prior to the destruction and/or disposal of the material/feature/detail. The request shall include a report from a third-party consultant with expertise in historic rehabilitation. Report shall include photographs demonstrating the condition of the material/feature/detail, reasons why the material/feature/detail cannot be reused or repaired, and information (detail sheet, samples, cost differential, and other information deemed necessary) regarding the proposed replacement material/feature/detail. Final approval of replacement material/feature/detail shall be subject to review and recommendation from the Downtown Consultant, with final approval by Staff. An appeal to a Staff decision regarding replacement material/feature/detail shall be considered by the Historic Preservation Commission at a regularly scheduled meeting.
3. Developer shall provide a landscape plan for the yard which shall be designed in a layered or drifts/massing layout with landscape material selections from the approved lists in the City's Downtown Planting Guidelines, as approved by Staff.
4. The property (Lot 9 as identified on the approved site plan) shall forever be known as the John C. Weatherford House and shall be designated by a historical marker or plaque, which shall be affixed to the exterior of the structure, as approved by Staff.

III. REPORT IN BRIEF:

The applicant, Chris Davis, is seeking a certificate of appropriateness in order to rehabilitate the John C. Weatherford House for use as a residence. The applicant proposes to reconstruct the structure in a structurally sound and historically consistent manner, which includes a two (2) story addition at the rear of the structure. Due to the presence of unsuitable soils, a substandard foundation, and structural deficiencies, the applicant proposes to deconstruct the historic structure by hand, re-use salvageable exterior materials, and rebuild a structurally sound home. The subject property is located at 193 Canton Street at the southeast corner of Mayfield Road and Canton Street.

DISCUSSION

The submitted request, if approved, would allow for the rehabilitation of the John C. Weatherford House. The applicant proposes to reconstruct the structure in a structurally sound and historically consistent manner, which includes a two (2) story addition at the rear of the structure. Due to the presence of unsuitable soils, a substandard foundation, and structural deficiencies, the applicant proposes to deconstruct the historic structure by hand, re-use salvageable exterior materials, and rebuild a structurally sound home. The subject property is located at 193 Canton Street at the southeast corner of Mayfield Road and Canton Street.

The John C. Weatherford House was constructed sometime between 1910 and 1920 and is approximately 105-115 years old. The structure is approximately 2,786 square feet and was constructed in the Folk Victorian style. According to *Alpharetta, Milton County – the Early Years*, John C. Weatherford operated a dairy farm on the property. The property played host to an unusual attraction with Homer Weatherford, younger son of John C. Weatherford, and his wife Annie Tucker Weatherford having charged one dollar (\$1) per person to view a two-headed calf in a barn on the property.

The property was approved for a comprehensive land use plan amendment, rezoning and variance on May 24, 2021, to allow a sixteen (16) lot single-family detached subdivision on 2.4 acres in the Downtown. The development included saving and rehabilitating the John C. Weatherford House for use as a residence or office. As required by Council condition, the John C. Weatherford House was designated as historic on May 5, 2025. The following conditions of zoning related to file# CLUP-21-03/Z-21-04/V-21-09 Hudson Park should be considered in conjunction with a request for Certificate of Appropriateness:

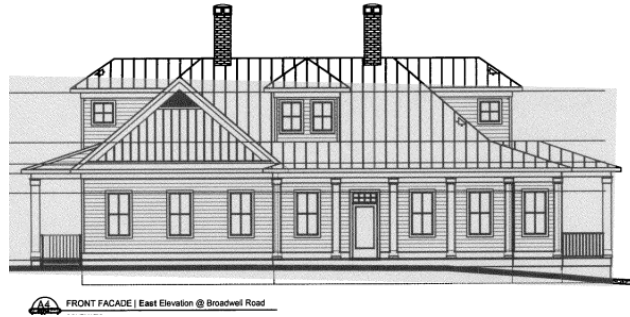
1. Approximately 0.14 acres including the historic Weatherford House shall be zoned DT-LW and the remaining site, consisting of approximately 2.3 acres, shall be zoned DT-R and developed substantially similar to site plan prepared by Plum Creek Consulting, revised 4/26/2021, except for modifications required to comply with the conditions below. However, lot yield depicted is not guaranteed and subject to meeting all City code requirements and conditions of zoning.
4. The historic Weatherford House shall be used for an office or residence. A garage or driveway shall be provided accommodating at least 2 side-by-side parking spaces.
5. The historic Weatherford House shall be saved on the property, restored, and designated under the City's Historic Preservation Incentive Ordinance. Restoration shall be completed by the 8th Certificate of Occupancy, subject to a Certificate of Appropriateness from the Historic Preservation Commission.

While not exactly the same as the applicant's proposal, the Reese House located at 12599 Broadwell Road, was constructed as a replica of the razed Reese House (traditional farmhouse style) that formerly occupied that property (as shown in the photograph and elevation below). The replica of the Reese House was approved in conjunction with a request for rezoning to allow the 2,400 square foot structure to be used for a medical office.

Reese House Replica



Proposed Reese House Replica



SITE PLAN

The site plan depicts the existing historic structure (2,786 square feet) to remain with a two (2) story addition (1,185 square feet) at the rear. The addition includes interior space for bedrooms and bathrooms, as well as a two (2) car garage. Access to the garage is by way of a new internal alley which has been named Weatherford Lane. The proposed finished square footage of the structure is approximately 3,971 square feet. Preservation and re-use of the historic structure as a residence is proposed in conjunction with the development of the property with sixteen (16) 'For-Sale' single-family detached lots. Most of the homes will have frontage on Canton Street and Mayfield Road. The primary entrance to the subdivision, The Residences at Jackson Park, is located off Canton Street just north of the John C. Weatherford House.

BUILDING ELEVATIONS

The proposed elevations and renderings depict changes to the structure's exterior, including a two (2) story addition at the rear of the structure. The proposed elevations depict maintaining the original architectural features and details, with a particular focus on the front façade of the structure. Exterior materials are proposed to be saved and reused where feasible, with unsalvageable materials replaced with the same or similar material. The rear addition is visually differentiated from the original structure, but is compatible with regard to massing, size, scale, and architectural features in order to protect the historic integrity of the structure. The applicant's letter of intent states that the proposed rehabilitation has been guided by several fundamental principles, including:

- The historic residence should remain the defining architectural feature of the property, which is why the addition was intentionally located behind the structure.
- Historically significant building materials and architectural features should be preserved whenever feasible.
- Rehabilitation should ensure long-term preservation making the structure safe, functional, and architecturally significant.

Recently, the applicant has taken steps to protect the structure, including a temporary roof tarp, as well as structural stabilization measures (foundation). The application notes that alluvial soils were found underneath the structure, which are common near bodies of water and present significant construction challenges due to being prone to shifting and settling. Ultimately, the alluvial soils must be mitigated (removed/replaced, dynamic compaction, stone columns, grouting, etc.) before the historic structure can be rehabilitated. An engineered concrete and steel reinforced wall was constructed on the left side of the structure (from the rear to the front corner) to safely support the structure. The broken exterior wall blocks were removed and alluvial soils excavated prior to installation of the engineered wall. Steel supports were

erected under the left side of the structure to allow for further excavation. Temporary walls and bracing have been installed under the structure and deck for added support.

The City's Downtown Consultant reviewed the applicant's proposal to rehabilitate the John C. Weatherford House. Recommendations and markups were provided by the Downtown Consultant which, if addressed, would adequately conform to the provisions of the U.S. Secretary of the Interiors Standards for Rehabilitation (as shown below). The applicant revised the elevations to comply with all comments and markups and the Downtown Consultant recommends that the applicant's request for Certificate of Appropriateness be approved subject to compliance with the approved plans and requiring the applicant to seek City approval prior to the replacement of exterior materials, features, and architectural details.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 5: Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

REHABILITATION METHODOLOGY

As outlined in the application, the applicant is requesting approval to allow for the reconstruction of the John C. Weatherford House. The applicant conducted additional structural investigation and engineering analysis to better understand the existing condition of the structure. The structural engineering report, which has been reviewed and confirmed by the City's Building Official, identified significant structural deficiencies which will require significant structural intervention in order to safely rehabilitate the home. Therefore, the applicant proposes to deconstruct (by hand), save and reuse exterior materials where feasible, replace unsalvageable exterior materials with same or most similar commercially available, and rebuild a structural sound home on a safe foundation. According to the applicant, "the project will utilize a carefully managed deconstruction methodology that allows materials and architectural elements to be documented, evaluated, salvaged, and reincorporated into the rehabilitated residence wherever practical. Materials that cannot reasonably be reused because of deterioration or structural limitations will be replaced with materials that closely match the original appearance using the closest commercially available equivalent" as determined by a third-party consultant.

STANDARDS FOR A CERTIFICATE OF APPROPRIATENESS

Standards for Approval. The Historic Preservation Commission (HPC) shall approve the application and issue a certificate of appropriateness if it finds that the proposed material change(s) in the appearance would not have a substantial adverse effect on the aesthetic, historic, or architectural significance and value of the historic property. In making this determination, the HPC shall consider, in addition to whether the

proposed material change(s) in the appearance complies with the foregoing design standards and other pertinent factors, the following criteria:

1. For restoration, renovation, rehabilitation, reconstruction, alteration, or new construction: Whether the proposed actions conform in design, scale, building material, setback, and site features and to the United States Secretary of the Interior's Standards [for] the Treatment of Historic Buildings with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings, as applicable.

Staff Response: The applicant proposes to re-use the structure as a residence, of which there are similar examples of historic preservation in the City's Downtown at the Lewis Manning House (40 Cumming Street), Ben Manning House (94 Academy Street), Earl Wood House (531 South Main Street), and Gardner House (133 Cumming Street), to name a few. The applicant has addressed the Downtown Consultant's recommendations and markups in order to comply with the provisions of the U.S. Secretary of the Interiors Standards for Rehabilitation. The Downtown Consultant recommends that the applicant's request for Certificate of Appropriateness be approved subject to compliance with the approved plans and requiring that the applicant seek City approval prior to the replacement of exterior materials, features, and architectural details.

CONCURRENCES

Staff has reviewed the applicant's proposal in consideration of the review criteria for a Certificate of Appropriateness. The proposed rehabilitation of the John C. Weatherford House, including the rear addition, would not have a substantial adverse effect on the aesthetic, historic, or architectural significance and value of the historic property. U.S. Secretary of the Interiors Standards for Rehabilitation Standards 2, 5, and 6 will require that the applicant preserve the historic character of the structure by saving and repairing distinctive features, details, and materials. According to the Downtown Consultant, the expression of the limits of the historic house and the beginning of the new addition is well done and complies with U.S. Secretary of the Interiors Standard for Rehabilitation Standard 9. If approved, conditions are recommended subject to the approved plans and requiring the applicant to seek City approval prior to the replacement of exterior materials, features, and architectural details.

CITIZEN PARTICIPATION PLAN

The report submitted by the applicant states that letters were mailed to each property owner within 500' of the subject property stating the applicant's intent. The report states that comments were received at the CZIM meeting regarding confirmation that the applicant is no longer proposing to raze the structure and construct a replica. The applicant explained that the structure would be carefully deconstructed by hand with exterior materials evaluated as they are removed. Usable materials will be saved and reused and materials that cannot be salvaged will be replaced with matching materials or the most similar ones available. According to the applicant, the response from the public has been positive. One (1) concern was expressed that the entire historic interior would not be restored.

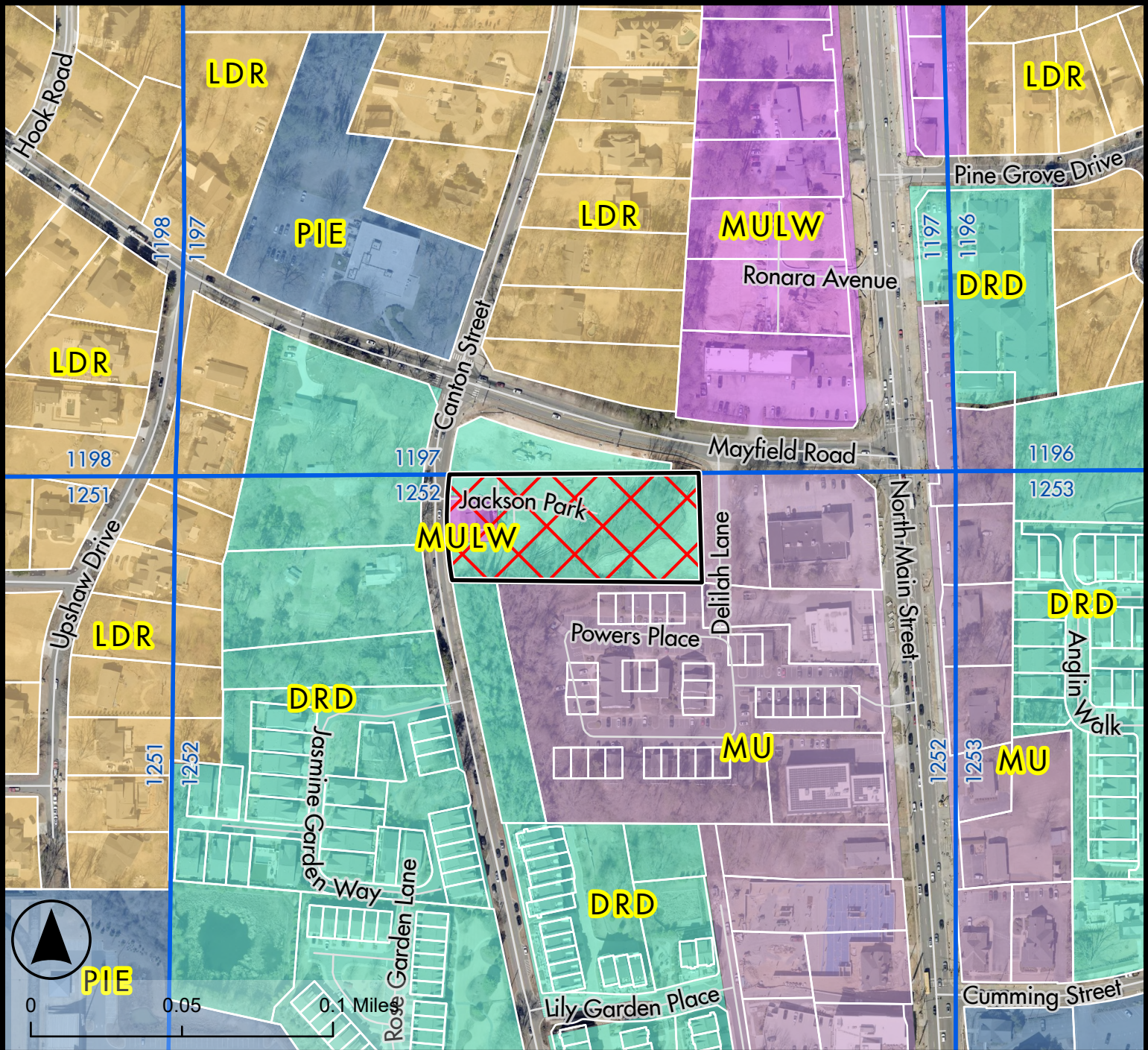
City Staff also received correspondence from the public regarding the applicant's request. Public comments supported the restoration of the structure, do not support a replica, developers actions caused the structure to fall into disrepair and should not alleviate the developer from their responsibilities to rehab the structure, and do not like the approved development around the Weatherford House.

COMMUNITY ZONING INFORMATION MEETING

CZIM was held on August 12, 2026. There were several public comments that the roof color and chimneys should be historically accurate, happy that the structure will be restored, desire to preserve most of the exterior materials, disappointed that it will be a private residence, developers diminishing the City's character, disappointed that the interior will not be preserved, and preserve and protect the structure.

IV. ATTACHMENTS:

- Map Series
- Downtown Consultant Reviews
- CZIM
- Citizen Part B
- Public Comment
- Application



Legend

PH-26-15

Land Lots

Tax Parcels

Future Land Use 2040

Downtown Residential Density

Low Density Residential

Mixed Use

Mixed Use Live Work

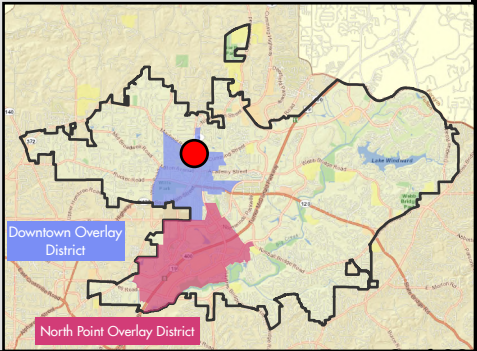
Public, Institutional, Education

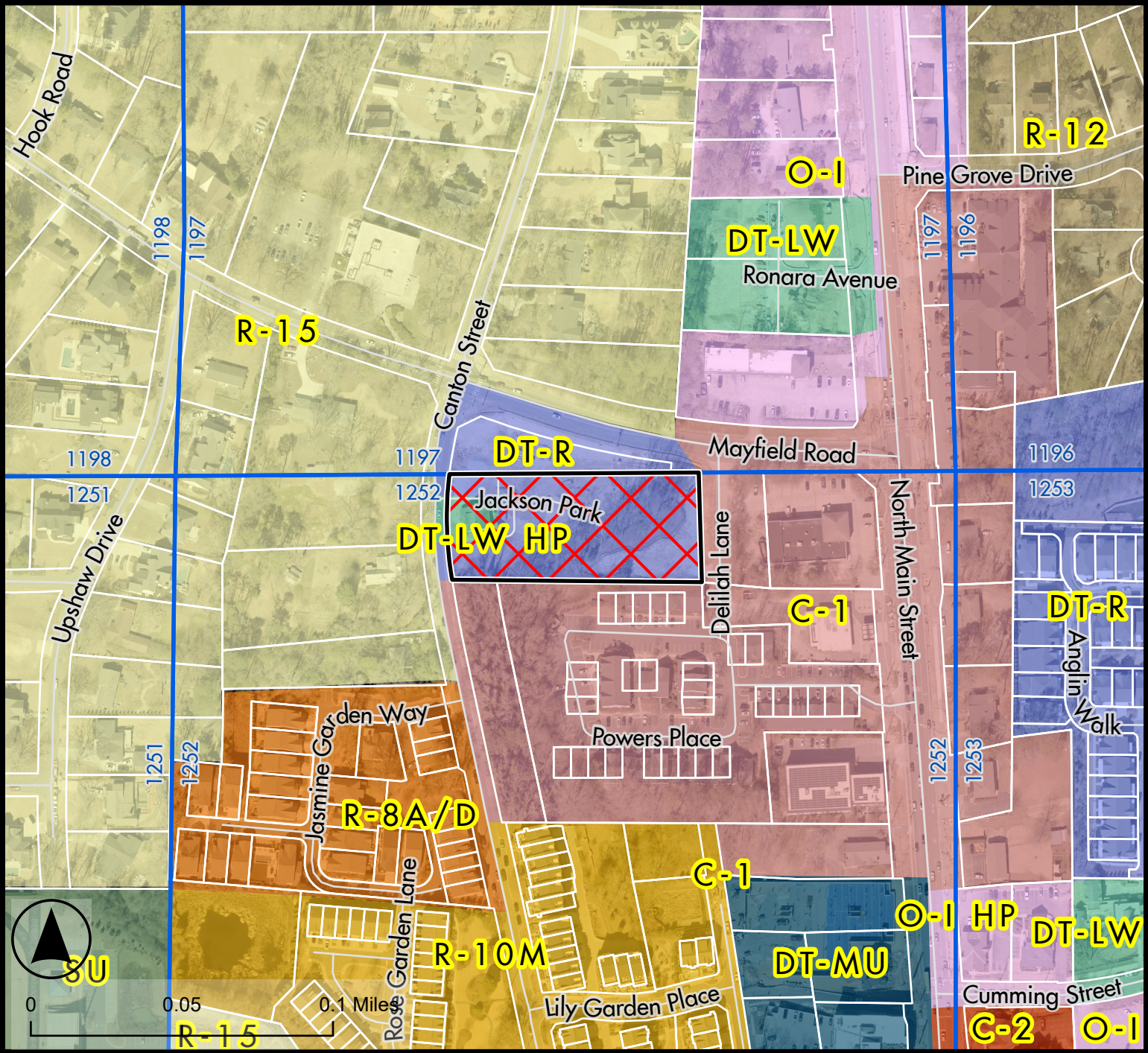
Future Land Use Map

John C. Weatherford House Certificate of
Appropriateness
193 Canton

PH-26-15
D/LL: 2/2/1252

HPC: 9/10/2026



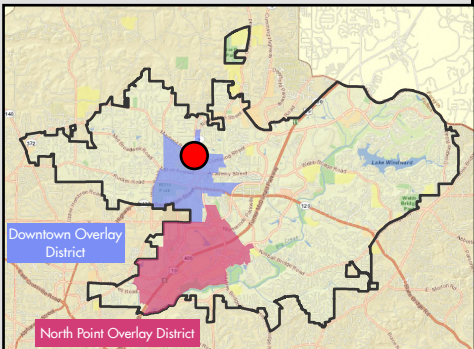


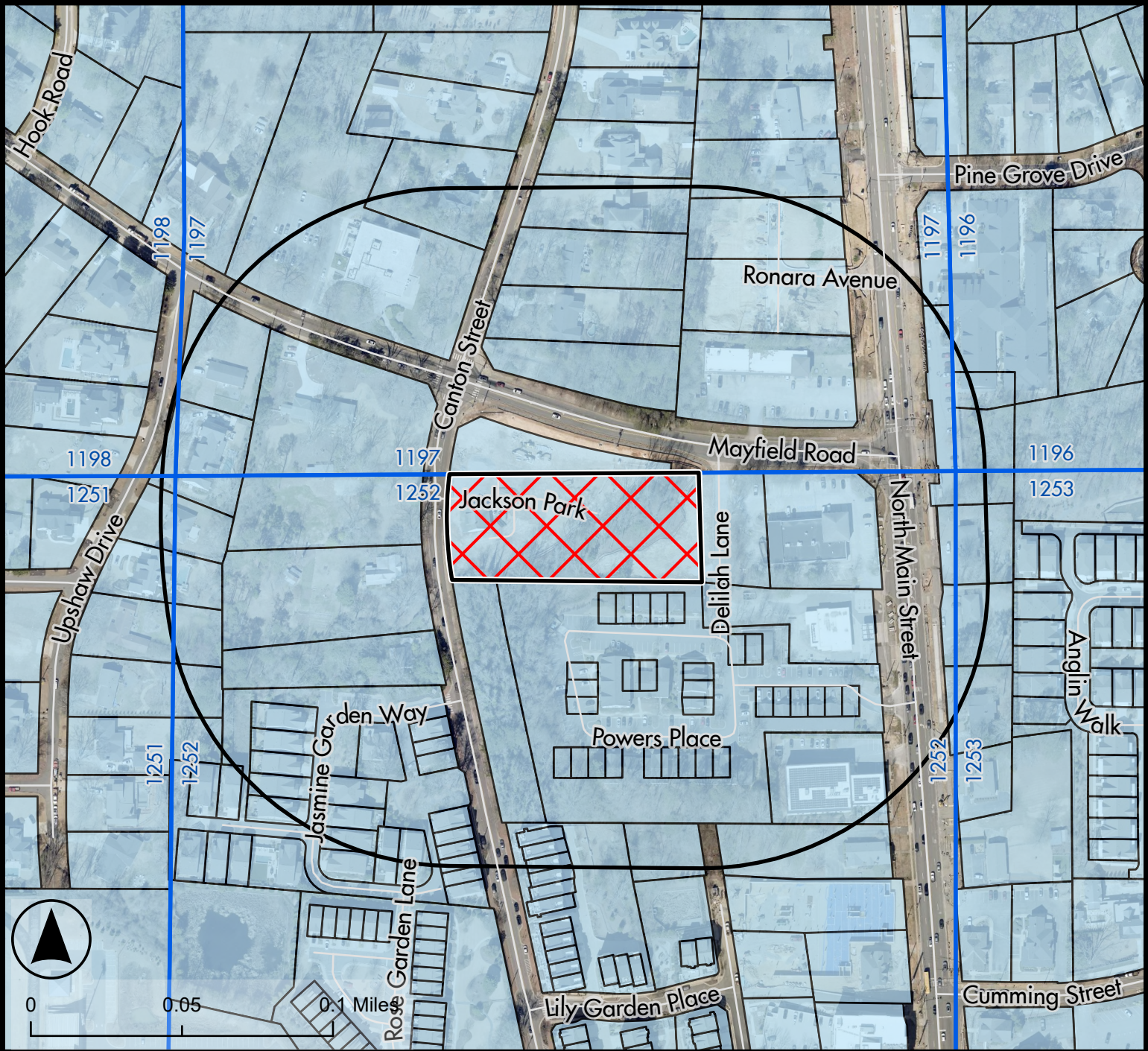
- Legend**
- PH-26-15
 - Land Lots
 - Tax Parcels
 - Zoning District**
 - C-1 Neighborhood Commercial
 - General Commercial
 - DT-LW Downtown Live Work
 - DT-MU Downtown Mixed Use
 - DT-R Downtown Residential
 - O-I Office Institutional
 - R-10M Multi Family Residential (HDR)
 - R-12 Single Family Detached Residential
 - R-15 Single Family Detached Residential
 - R-8A/D Single Family Attached/Detached Residential
 - SU Special Use

Zoning Map
John C. Weatherford House Certificate of Appropriateness
193 Canton



PH-26-15
D/LL: 2/2/1252
HPC: 9/10/2026





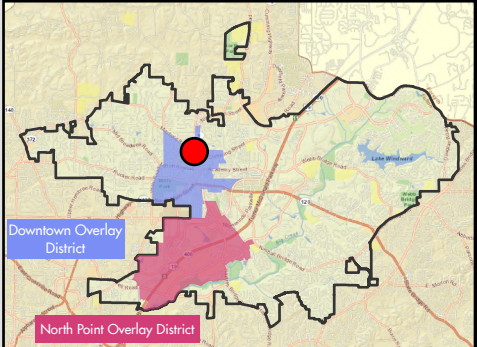
Legend

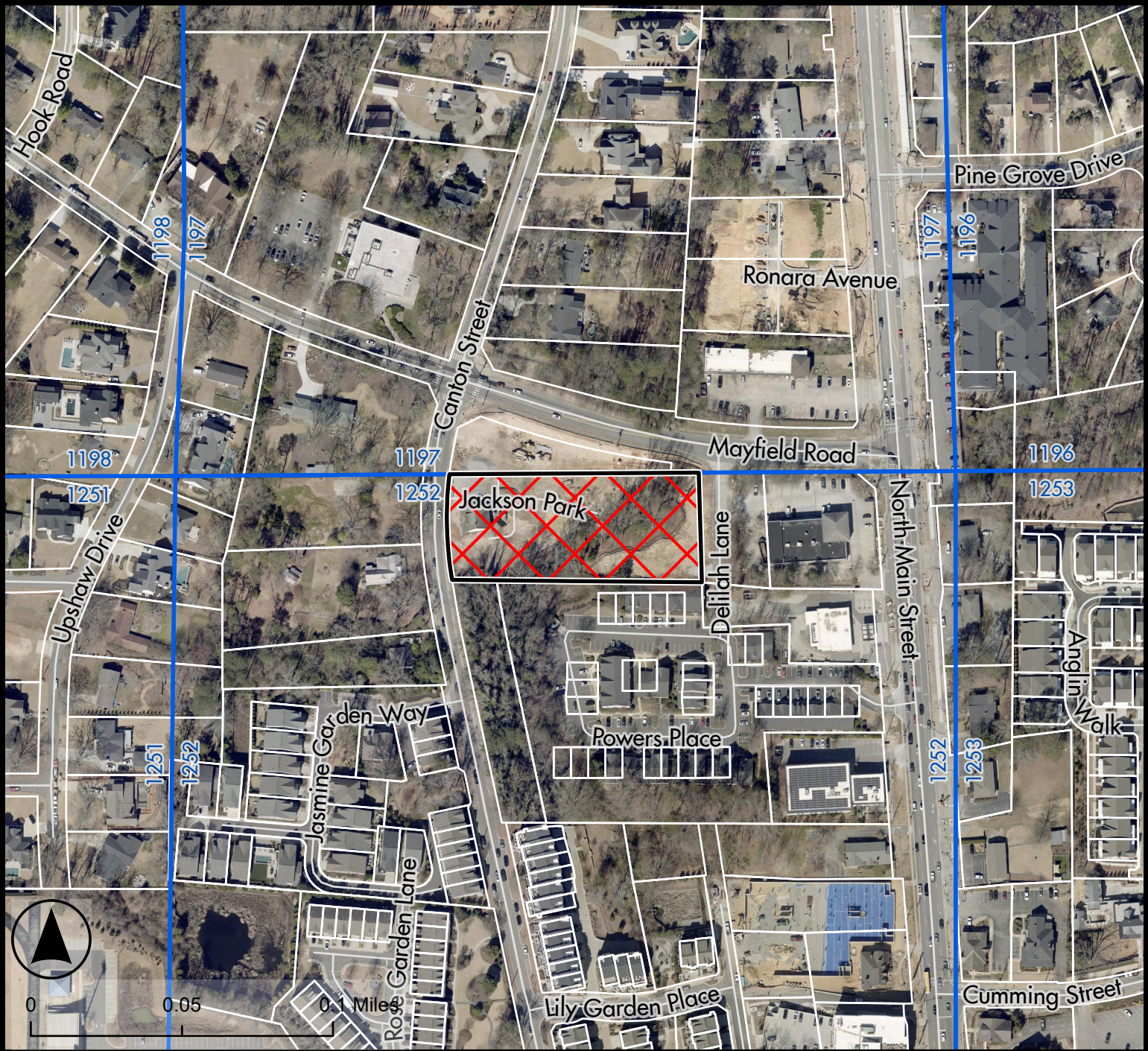
-  PH-26-15
-  Land Lots
-  Tax Parcels
-  500 ft Buffer

Location Map

John C. Weatherford House Certificate of
Appropriateness
193 Canton

PH-26-15
D/LL: 2/2/1252
HPC: 9/10/2026





Legend

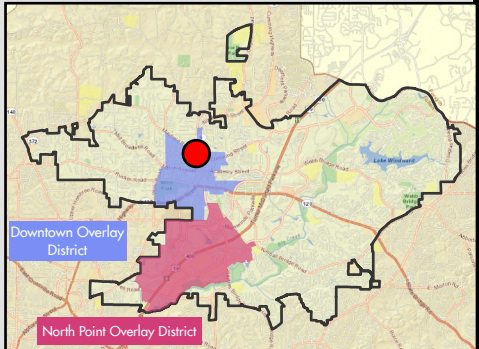
- PH-26-15
- Land Lots
- Tax Parcels

Aerial Map

John C. Weatherford House Certificate of
Appropriateness
193 Canton

PH-26-15
D/LL: 2/2/1252

HPC: 9/10/2026



From: [Norman Alston, FAIA](#)
To: [Woodman, Michael](#)
Cc: [Taylor, Elicia](#)
Subject: Re: 193 Canton Street - Weatherford House
Date: Friday, August 7, 2026 9:24:23 AM
Attachments: [image001.png](#)

Michael,

Thanks for sending these updates.

Drawing A-1.2 Reflects the comments that the front door be flush with the front exterior wall and that the porch columns be equally spaced and in their original locations.

Drawings A-2.1, A-2.2 and A-2.3 correctly reflect the removal of the chimney pots.

These changes are reflective of the adjustments needed and I recommend approval. Do you need this in a separate review form, or will this email suffice?

Norman Alston, FAIA

NORMAN **ALSTON** architects
architecture | planning | historic preservation
506 Monte Vista Dr. Dallas, Texas 75223 214 826-5466 www.alstonarchitects.com

On 8/7/2026 7:49 AM, Woodman, Michael wrote:

Good morning, Norman.

Please see attached revised elevations for the Weatherford House in response to your previous comments (also attached). Let me know if the applicant has addressed all your comments. Thank you!

From: Norman Alston, FAIA [<norman.alston@alstonarchitects.com>](mailto:norman.alston@alstonarchitects.com)
Sent: Wednesday, July 29, 2026 1:29 PM
To: Woodman, Michael [<mwoodman@alpharetta.ga.us>](mailto:mwoodman@alpharetta.ga.us)
Cc: Taylor, Elicia [<etaylor@alpharetta.ga.us>](mailto:etaylor@alpharetta.ga.us)
Subject: Re: 193 Canton Street - Weatherford House

Michael

My apologies. I realized that I didn't send the most up to date markup copy. It doesn't show the front door notes. The attached markup should replace that one.



Alpharetta Downtown Design Guidelines Certificate of Appropriateness Review

193 Canton Street

Received: Tuesday, March 25, 2025

Response: Wednesday, April 2, 2025

Resubmitted: Wednesday, June 18, 2025

Response: Monday, June 30, 2025

Submitted by: Michael Woodman

mwoodman@alpharetta.ga.us

Folk Victoria – Design Elements per Downtown Design Guidelines

- ☐ Side gabled, one story sub-type of Folk Victorian
- ☐ Front Facades are symmetrical
- ☐ Front Porches with spindlework detailing
- ☐ Roofs are usually gabled with very simple massing
- ☐ Brackets under roof eaves.

Secretary of the Interiors Standards for Rehabilitation of Historic Buildings (The Standards) – Relevant Provisions

- ☐ **Standard 2:** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided
- ☐ **Standard 5:** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- ☐ **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- ☐ **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Summary and Recommendation

Clearly, steps have been taken to improve conformance with the Secretary of the Interiors Standards for the Treatment of Historic Buildings (the Standards), and changes have been made to conform with the Downtown Design Guidelines. However, some aspects remain that are not compliant.

Recommendations

The Secretary of the Interiors Standards are designed to protect both 1) the historic character of historic buildings and 2) to ensure that historic buildings retain authenticity through retention of historic materials and features. The following comments are focused on the widely accepted application of the Standards.

Chimneys

- Retention of the historic brick chimneys is an important improvement. Their original location is typical of this style and age of house and provide important indications of the historic layout and organization of the home's interior. Keeping them in their same location is consistent with the Standards as they are a character-defining feature.
- The drawings submitted show changes to the tops of these chimneys, with the addition of chimney pots and perhaps additional brick articulation. These features would not reflect historic conditions nor techniques associated with a simple Folk Victorian structure of this time. Additionally, it appears that the chimneys may be enlarged, although it is not specifically indicated. Rebuilding the chimneys and enlarging them would not be consistent with the Standards.
- Recommendation: Keep the existing chimneys, at least those portions visible from the exterior. Restore them to their original appearance, and to sound, serviceable condition in their original size, configuration, height and detailing while retaining original brick as much as possible.

Windows and Doors

- The Standards call for fenestration patterns and solids-to-voids ratios of the historic structure to be maintained, especially on the prominent and character-defining front elevation. Windows should be retained and restored where possible. Replacements should be of similar material as the original (wood), operation (double hung?), and components (rails, stiles, muntins and mullions) to be of similar sizes and profiles. It is not possible from these drawings to determine what the original windows and doors looked like nor if they remain to be restored. Also, there is no indication of which windows indicate original openings and which are new openings. Finally, the primary windows on the front of the building are obscured by the porch infill and we have no indication of the treatment of these most important elements.
- Recommendation: Indicate original window locations, show their original configuration and indicate if each will be retained and restored, or if they will be replaced. For replacement windows, please provide a cut sheet or specification indicating window operation, material, component sizes, profiles and finish. Note

that all glass should be clear, without tint. Low-e coatings that appear much like clear glass are acceptable. Vinyl replacement windows do not typically reflect historic component sizes, arrangements or detailing and are typically not used in bonafide restoration efforts on recognized historic structures like this one.

Front Porch

The front porch is really THE character-defining feature of this historic structure and the application of the Standards is most closely followed here.

- The retention of the turned wood columns is a significant improvement and represents perhaps the primary architectural element on the primary façade. However, rearranging them in something other than the original equal spacing is not consistent with the Standards. Their original layout should be retained.
- Infilling large sections of the front porch with full height, multi-pane windows is a dramatic departure from the historic character of the historic house and is not consistent with the Standards. Modern additions and improvements are acceptable under the Standards, but are rarely, if ever, appropriate on the very front of the primary façade of the building
- Recommendation: The front porch should retain its clear historic look and configuration. No porch infill and retention of the turned wood columns in their original layout.

Rear Addition

Additions to designated historic buildings are typically restricted to the rear of the building. Additionally, such additions should respect the size, height and massing of the historic structure and should not overshadow or otherwise take away from the perception and appearance of the primary façade of the historic building.

- In this sense, this addition is very successful. Located at the rear, there is little to no encroachment on the view of the primary front façade. We commend the addition's height being kept below the ridgeline of the original roof.
- Similarly, major additions should be recognized as a product of their own time and should be clearly differentiated from original historic structure, while remaining compatible with it. The current design does an excellent job of this. The profile of the original historic house configuration is now clearly ascertainable on both elevations. The addition itself is clearly compatible with the historic but exhibits many details to indicate it is a more modern addition.
- Recommendations: None. Compliant as is except for any notes on the drawing mark-ups.

End of Comments

Prepared by:
Norman Alston, FAIA
Downtown Design Guideline Consultant





THIS DRAWING SUGGESTS THAT BOTH HISTORIC WOOD SIDING AND NEW SIDING HAS BEEN MITRED AT THE OUTSIDE CORNERS. IS THIS CORRECT?

CHIMNEY POTS AND NEW BRICK DETAILING NOT APPROPRIATE FOR THIS STYLE

2 REAR ELEVATION
A-2.1 THE RESIDENCES AT JACKSON PARK 1/4" = 1'-0"

MORE INFORMATION NEEDED ON CONDITION OF ORIGINAL WINDOWS AND PROPOSED IMPROVMENTS/CHANGES

ORIGINAL COLUMNS SHOULD BE PRESERVED AND RETAIN THEIR ORIGINAL LAYOUT

INFILL OF FRONT PORCH NOT APPROPRIATE PER THE SECRETARY OF THE INTERIORS STANDARDS



1 FRONT ELEVATION
A-2.1 THE RESIDENCES AT JACKSON PARK 1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS	BY

DESIGN REVIEW BOARD PRESENTATION FOR:
THE RESIDENCES AT JACKSON PARK - LOT 9
193 CANTON STREET, ALPHARETTA, GA 30009
MAYFIELD CANTON DEVELOPMENT GROUP, LLC

JACKSON PARK - LOT 9

LMA
LINDA MACARTHUR ARCHITECT
404.233.4771
810 EAST ANDREWS DRIVE NW
SUITE 7, ATLANTA, GA 30305

USE OF THIS DOCUMENT:
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SCALE OF THE DRAWING:
Scales as noted on this drawing are valid on the original drawings only, the dimensions of which is 24 x 36 inches.

Date: 04/30/2025
Scale: AS NOTED
Drawn: SP, ST
Job: LOT 9 (HISTORICAL)
Sheet: A-2.1
Of 5 sheets



INFILL OF FRONT PORCH NOT APPROPRIATE PER THE SECRETARY OF THE INTERIORS STANDARDS

EXPRESSON OF THE LIMITS OF THE HISTORIC HOUSE AND THE BEGINNING OF NEW ADDITION IS VERY WELL DONE.

INDICATE LOCATIONS OF HISTORIC WINDOWS AND FOR NEW WINDOWS

1
A-22

RIGHT SIDE ELEVATION
THE RESIDENCES AT JACKSON PARK

1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS	BY

DESIGN REVIEW BOARD PRESENTATION FOR:

THE RESIDENCES AT JACKSON PARK - LOT 9

193 CANTON STREET, ALPHARETTA, GA 30009
MAYFIELD CANTON DEVELOPMENT GROUP, LLC

LMA
LINDA MACARTHUR ARCHITECT
404.233.4771
810 EAST ANDREWS DRIVE NW
SUITE 7, ATLANTA, GA 30305

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SCALE OF THE DRAWING:
Scales as noted on this drawing are valid on the original drawings only, the dimensions of which is 14 x 36 inches.

Date: 04/30/2025
Scale: AS NOTED
Drawn: SP, ST
Job: LOT 9 (HISTORICAL)
Sheet: **A-22**
Of Sheets



1
A-23

LEFT SIDE ELEVATION
THE RESIDENCES AT JACKSON PARK

1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS	BY

DESIGN REVIEW BOARD PRESENTATION FOR:
THE RESIDENCES AT JACKSON PARK - LOT 9
193 CANTON STREET, ALPHARETTA, GA 30009
MAYFIELD CANTON DEVELOPMENT GROUP, LLC

JACKSON PARK - LOT 9

LMA
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SUITE 7, ATLANTA, GA 30305

USE OF THIS DOCUMENT:
The drawing and associated documents are the exclusive property of the Architect, Linda D'Orazio MacArthur Architect, and are not to be reproduced or copied in whole or in part. They are only to be used for the project and site specifically identified herein and are not to be used on any other project without the written permission of the architect.

SCALE OF THE DRAWING:
Scales as noted on this drawing are valid on the original drawings only, the dimensions of which is 14 x 36 inches.

Date: 04/30/2025
Scale: AS NOTED
Drawn: SP, ST
Job: LOT 9 (HISTORICAL)
Sheet: A-2.3
Of Sheets

Community Zoning Information Meeting (CZIM)

August 12, 2026

Please sign-in and leave your comments and/or concerns.

PH-26-15 / John C. Weatherford House/193 Canton Street – Certificate of Appropriateness

NAME	ADDRESS	COMMENTS
Stacy Kolb	25 Nathan Cr	Concerned about zoning of the historical home, the roof color and color of the chimneys to be historically accurate.
MaryFerr	192 Manning Dr 770-634-0365	Thrilled that you are going to preserve this house! Understand it will take ### patience & time. Thank you!

Community Zoning Information Meeting (CZIM)

August 12, 2026

Please sign-in and leave your comments and/or concerns.

PH-26-15 / John C. Weatherford House/193 Canton Street – Certificate of Appropriateness

NAME	ADDRESS	COMMENTS
Sarah Charles	2430 Commerce St.	
Maxwell Mitchell	7149 Surrey Pt	The new builds have character and reflect good design. I <u>Support</u> the rebuild in place. The house is in no condition to be "saved" as is. And should the new builds shall not be held up for something beyond repair.

Community Zoning Information Meeting (CZIM)

August 12, 2026

Please sign-in and leave your comments and/or concerns.

PH-26-15 / John C. Weatherford House/193 Canton Street – Certificate of Appropriateness

NAME	ADDRESS	COMMENTS
Bonnie Steadman	255 Vaughn Dr, Apt 220 Alpharetta, Ga 30009	
Nancy J. Emmons	348 Meadow Drive Alpharetta, GA. 30007	Concern with Historical accuracy of the Weatherford House and the area around the house. I hope it can be remodeled under the strict criteria of the Historical Preservation
Anita Weatherford Tebeck	1100 Sperin Rd Ball Ground Ga 30107	
Claudia Lewis	184 Canton St	
Charlene (over)	11104 Windrush Ln.	
Deborah Eves	115 Pebble Trail Alpharetta	I hope they are able to preserve much of the original materials in and on the exterior of this house. I'm disappointed it will be a private residence.

I'm disappointed it will be a private residence.

Community Zoning Information Meeting (CZIM)

August 12, 2026

Please sign-in and leave your comments and/or concerns.

PH-26-15 / John C. Weatherford House/193 Canton Street – Certificate of Appropriateness

NAME	ADDRESS	COMMENTS
Michael Buchanan	135 Peltale Tr	Stop letting developers diminish our city's character & integrity.
Amy Whittall	131 Mayfield Circle	Happy that the front is being preserved but disappointed that none of the history inside is being preserved
Ben Peterson	5035 Fox Lair Loop	
LINDSAY MORTIMER	4861 HUNTERS OAKS LN	PROTECT & PRESERVE THE HOUSE.
KEVIN MILLER	176 Kenneth Dr	The agreement was to restore the house on its original footprint.
Jennifer Law	2430 Commerce St.	Preserve what you can for our city!!

CITIZEN PARTICIPATION FORM - PART B

This form must be completed and submitted to the City of Alpharetta Community Development Department a minimum of twenty (20) working days prior to the scheduled Public Hearing. Failure to do so will result in cancellation of the scheduled hearing.

Public Hearing or Project Name: Jackson Park- Weatherford House COA

Contact Name: George Jackson

Telephone: 770-757-1429

Please describe comments and concerns provided by any and all individuals contacted as part of the the Citizen Participation Program. If any individuals provided written correspondence, please attach copies of same to this report.

Most questions centered on confirming that we were no longer proposing to raze the house with heavy equipment and construct a replica. We explained that the house will instead be carefully deconstructed by hand, with materials evaluated as they are removed. Usable materials will be retained and reused, while those that cannot be salvaged will be replaced with matching materials or the closest commercially available equivalent. This approach also allows us to construct the proper foundation and structural support the house currently lacks.

The response was overwhelmingly positive. Anita Weatherford Telecky, the great-granddaughter of the original owner, was particularly supportive and understood the structural challenges involved. One couple expressed concern that the entire historic interior would not also be restored; we explained that the interior is outside the scope of the Certificate of Appropriateness review.

Method by which these individuals were contacted. Please mark all that apply. *Please provide samples of any and all written communications used to provide notification.*

- | | |
|------------------------------------|---|
| ☐ Letter | ☐ Personal Visits |
| ☐ Telephone | ☒ Group Meeting |
| ☐ Email | ☐ Other (Please Specify) _____ |

Attach a list of people who have been notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified.

I, the undersigned, as an authorized representative of the applicant and Public Hearing item identified above, do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Citizen Participation Form - Part B and in any and all documents provided in support of this report are true and accurate. I further understand that any false statements provided by representatives of the applicant as part of this report may result in penalties up to and including denial of the subject application.

Signature of Authorized Agent: _____

Date: 8/13/2026

July 21, 2026

George Jackson
668 Cooledge Ave NE
Atlanta, GA 30306

RE PH-26-15 John C. Weatherford House/193 Canton Street – Certificate of Appropriateness

Dear Property Owner:

Please allow this letter to serve as public notice for consideration of a request for Certificate of Appropriateness related to the rehabilitation of the John C. Weatherford House. The property is located at 193 Canton Street and is legally described as being located in Land Lots 1197 & 1252, 2nd District, 2nd Section, Fulton County, Georgia.

The Community Zoning Information Meeting (CZIM) will be held on **Wednesday August 12, 2026, at 6:00 PM** in the Community Room in Alpharetta City Hall across from the Council Chambers. Alpharetta City Hall is located at 2 Park Plaza, Alpharetta, GA, 30009. This is an informal meeting to allow the public to view public hearing requests, ask questions, and provide feedback.

The item will be considered by the **Historic Preservation Commission on Thursday, September 10, 2026, at 3:00 PM.** in the Council Chambers, at Alpharetta City Hall, located at 2 Park Plaza, Alpharetta, GA 30009.

If you have any questions regarding the request, please feel free to contact me at your convenience. I can be reached at ghjacksoniv@gmail.com or 770-757-1429

Sincerely,

George Jackson

Name	Mailing Address
AB REAL ESTATE INVESTMENTS LLC	1110 POWERS PL ALPHARETTA GA 30004
ALBRIGHT IDEAS LLC	159 N MAIN ST ALPHARETTA GA 30009
AUGHEY ROSANNA MARIA & JEFFREY M	144 CANTON ST ALPHARETTA GA 30009
AURIEMMA AMY C	138 CANTON ST ALPHARETTA GA 30009
BALLARD JERRI GUY	240 JASMINE GARDEN WAY ALPHARETTA GA 30009
BEATY TOM & KENDRA JEAN	211 UPSHAW DR ALPHARETTA GA 30009
BERMIC RPOPERTIES LLC	1040 POWERS PL ALPHARETTA GA 30009
BLEVINS COY & ETTA KATHARINE	245 JASMINE GARDEN WAY ALPHARETTA GA 30009
BRCKA TERRY	225 JASMINE GARDEN WAY ALPHARETTA GA 30009
BRIGHT JOHN M & BRIGHT KRISTIN T	132 CANTON ST ALPHARETTA GA 30009
BROWN & MONDI PROPERTIES INC	18 CUMMING ST ALPHARETTA GA 30009
BROWN RITA	190 CANTON ST ALPHARETTA GA 30004
BRUDDY LLC	2441 US HWY 98 W STE 108 SANTA ROSA BEACH FL 32459
BUCHANAN JOHN CREIGHTON IV & BUCHA NAN TRACY BULLOC	181 UPSHAW DR ALPHARETTA GA 30009
BURGESS JOHN R SR & BURGESS VIRGIN IA P	255 CANTON ST ALPHARETTA GA 30009
BUTTS ROBERT R	5360 FRANKLIN GOLDMINE RD CUMMING GA 30028
CANTON STREET COMMONS HOMEOWNERS A SSOCIATION INC	2675 PACES FERRY RD STE 125 ATLANTA GA 30339
CANTON STREET FD DEVELOPMENT PARTN ERS LLC	91 W WIEUCA RD BLDG/STE A 2000 ATLANTA GA 30342
CHU PHIL FEIGH & XIE JUN XIA	449 ANGLIN WALK ALPHARETTA GA 30009
CITY OF ALPHARETTA	2 SOUTH MAIN ST ALPHARETTA GA 30004
CITY OF ALPHARETTA GEORGIA	2 S MAIN ST ALPHARETTA GA 30009
CMP PROPERTIES LLC	254 N MAIN ST ALPHARETTA GA 30009
COLBY KRISTEN	212 CANTON ST ALPHARETTA GA 30009
COLE CV ALPHARETTA LLC	P.O. BOX 4900 DEPT 604 SCOTTSDALE AZ 85261-4900
COLLINS MARINE GROUP LLC	725 COOPER SANDY CV MILTON GA 30004
CROSS THOMAS D & JANET E	235 JASMINE GARDEN WAY ALPHARETTA GA 30009
DOMINO TRUST THE	141 CANTON ST UNIT 4 ALPHARETTA GA 30009
DONALD A & KRISTA L DEMARINIS REVO CABLE TRUST THE	145 CANTON ST ALPHARETTA GA 30009
EHORSE L L C	1070 POWERS PL ALPHARETTA GA 30004
FILIPOWICZ DAVID F & LAURA	260 CANTON ST ALPHARETTA GA 30009
FMD POWERS PLACE LLC	1095 POWERS PL ALPHARETTA GA 30009
FRANCIS SCHINDLER LLC	143 MAYFIELD RD ALPHARETTA GA 30009
FROM HAIR ON SALON L L C	1015 POWERS PL SUITE 105 ALPHARETTA GA 30009
GEISEL PAMELA A	1000 POWERS PL ALPHARETTA GA 30004
GENERAL CONVENIENCE STORE LLC	174 N MAIN ST ALPHARETTA GA 30009
GUBKIN HOLDINGS LLC	210 PORTSMOUTH CT ROSWELL GA 30076
HARKNESS JEFFREY & TRACY	220 JASMINE GARDEN WAY ALPHARETTA GA 30009
HI RIVER PROPERTIES LLC	7917 SONATA BAY POINT LAKE WORTH FL 33467-7067
HILLEBRANDT KARL VON & HILLEBRANDT ANNE VON	243 CANTON ST ALPHARETTA GA 30009
HOLCOMBE STANLEY & HOLCOMBE ANNE	250 JASMINE GARDEN WAY ALPHARETTA GA 30009
HUDSON ANN PRICE	140 CANTON ST ALPHARETTA GA 30009
HUDSON ZACHERY CLEMETH & JENNY ROG ERS	253 CANTON ST ALPHARETTA GA 30009
INJURY & WELLNESS SPECIALISTS OF G EORGIA LLC	1080 POWERS PL ALPHARETTA GA 30009
JAMES EDWARD WATTS LIVING TRUST THE	430 ANGLIN WALK ALPHARETTA GA 30009
JARVIS REBECCA BROOK & MICHAEL TODD	148 CANTON ST ALPHARETTA GA 30009
JCNC REALTY LLC	1090 POWERS PL ALPHARETTA GA 30009
JEFFREY & SUSAN NEPL JOINT REVOCA BLE TRUST THE	255 JASMINE GARDEN WAY ALPHARETTA GA 30009
JMX BRANDS PROPERTIES II LLC	3709 N LOCKWOOD RIDGE RD SARASOTA FL 34234
JOBETH PROPERTIES LLC	305 ANNA MARIA BLVD CLEMSON SC 29631-2183
JORDAN D WESLEY	2711 CANOPY CIR ALPHARETTA GA 30009
KEARCE JAMES T JR	181 UPSHAW DR ALPHARETTA GA 30009
KIM KON & SOON JA	1160 ALPHARETTA ST ROSWELL GA 30075

KINGDOM AT MAIN LLC
 KINGDOM AT MAIN LLC
 KLAM INC
 KRAMER ROY WILLIAM & KRAMER CELIA MOORE
 LEWIS CLAUDIA B
 LORVEN PROPERTIES LLC
 MAIN STREET COMMONS HOLDING LLC
 MAIN STREET COMMONS OFFICE PARK OW NERS ASSOCIATION
 MANNING ON THE SQUARE COMMUNITY AS SN INC
 MAX AUTO REAL ESTATE LLC
 MAXWELL LUKE HARRISON & LINDSAY NI COLE
 MAYER GLEN J & LINDA L
 MAYFIELD LLC
 MC PHERSON PATRICK & MC PHERSON MA RSHA G
 MCELROY BRIAN HUDSON & MCELROY TAM MY LYNN
 MERIDIAN GROUP INC THE
 MMCO PROPERTIES LLC
 O DONNELL ROBERT J & CHERYL C
 OI S ENG CRANDUS TRUST THE
 ORGANIC SUGARING & WAXING LLC
 OVERS THOMAS & LORI L
 PENELOPE A GURLEY LIVING TRUST THE
 PERFECT FIT BY ELENA LLC
 PHILLIPS ALPHARETTA LLC
 PRINCE ELIZABETH AGA
 RADLEY DANIEL G & CHERYL C
 RANDY & BARBARA JOHNSTON REVOCABLE LIVING TRUST TH
 RM BILOXI LLC
 ROATH CHRISTOPHER SCOTT & DAVIS TI FFANY LEIGH
 RUOFF SCOTT C & DENISE E
 RUSHIN ANTHONY A & RUSHIN LUANN R
 SBLD PROPERTIES LLC
 SHAMOUN JOSEPH D JR & LINDA
 SIEGEL MITCHELL LEWIS & GOLDRING P ATRICIA ANN
 SLAPPEY E SCOTT & PAIGE H
 SLAPPEY EDWARD SCOTT & PAIGE H
 SNH AL GEORGIA LLC
 SOLLEY ROBERT A
 SONI MONITA
 SPENELLO JAMES PATRICK & SPENELOR HONDA DENISE
 SRISAI REALTY LLC
 SRP SUB LLC
 VNG INVESTMENTS LLC
 WREDBERG CONRAD JOHN III & GALLIGO S SUSAN H

4561 OLD PERIMETER WAY UNIT 710 ATLANTA GA 30346
 4651 OLDE PERIMETER WAY UNIT 710 ATLANTA GA 30346
 4465 PINEHOLLOW CT ALPHARETTA GA 30022
 136 CANTON ST ALPHARETTA GA 30009
 184 CANTON ST ALPHARETTA GA 30004-1606
 1125 GOLDENROD LANE SUWANEE GA 30024
 365 BIRCH RILL DR ALPHARETTA GA 30022
 1102 ABBEY CT ALPHARETTA GA 30004
 4400 NORTH POINT PKWY STE 295 ALPHARETTA GA 30022
 1101 MONROE ST TOLEDO OH 43604
 151 UPSHAW DR ALPHARETTA GA 30009
 205 JASMINE GARDEN WAY ALPHARETTA GA 30009
 766 BLACKFOOT TRL SUWANEE GA 30024-1753
 134 CANTON ST ALPHARETTA GA 30009
 233 CANTON ST ALPHARETTA GA 30009
 1050 POWERS PL ALPHARETTA GA 30004
 5005 ROXBURGH DR ROSWELL GA 30076
 134 N MAIN ST ALPHARETTA GA 30004-1623
 6 N CARPENTER UNIT 5A CHICAGO IL 60607
 1130 POWERS PL ALPHARETTA GA 30009
 275 JASMINE GARDEN WAY ALPHARETTA GA 30009
 440 ANGLIN WALK ALPHARETTA GA 30009
 120 POWERS PL ALPHARETTA GA 30009-8359
 830 KENNESAW AVE NW MARIETTA GA 30060
 248 CANTON ST ALPHARETTA GA 30009
 147 CANTON ST ALPHARETTA GA 30009
 265 JASMINE GARDEN WAY ALPHARETTA GA 30009
 1075 POWERS PL STE B ALPHARETTA GA 30009
 410 ANGLIN WALK ALPHARETTA GA 30009
 260 JASMINE GARDEN WAY ALPHARETTA GA 30009
 330 LILAC GARDEN GLN ALPHARETTA GA 30009
 3490 WATERS COVE WAY ALPHARETTA GA 30022
 161 UPSHAW DR ALPHARETTA GA 30009
 400 ANGLIN WALK ALPHARETTA GA 30009
 230 JASMINE GARDEN WAY ALPHARETTA GA 30009-3670
 230 JASMINE GARDEN WAY ALPHARETTA GA 30009
 255 WASHINGTON ST NEWTON MA 02458
 1105 POWERS PL ALPHARETTA GA 30004
 450 ANGLIN WALK ALPHARETTA GA 30009
 143 CANTON ST ALPHARETTA GA 30009
 5755 N POINT PKWY STE 262 ALPHARETTA GA 30022
 8665 E HARTFORD STE 200 SCOTTSDALE AZ 85255
 6038 EAGLES REST TRL BUFORD GA 30518
 420 ANGLIN WALK ALPHARETTA GA 30009

From: [Cook, Kathi](#)
To: [Woodman, Michael](#); [Taylor, Elicia](#)
Subject: Fwd: John C Weatherford House
Date: Tuesday, August 11, 2026 8:51:15 PM

Sent from my iPhone

Begin forwarded message:

From: Karen Quinn <klmquinn@yahoo.com>
Date: August 11, 2026 at 8:28:46 PM EDT
To: "Cook, Kathi" <Kcook@alpharetta.ga.us>
Subject: John C Weatherford House
Reply-To: Karen Quinn <klmquinn@yahoo.com>

Dear Ms Cook,

I am not able to attend the meeting on Wednesday night but wanted to make a comment. I urge the city to approve the restoration of the house, especially as the plastic is shredded and the interior may be damaged.

I look forward to seeing the home restored and hope there will be opportunities to visit once it's complete.

Thank you,

Karen Quinn

169 Lantern Ridge Ct.

[Yahoo Mail: Search, Organize, Conquer](#)

From: [Woodman, Michael](#)
To: info@RealEstateRhonda.com
Cc: [Taylor, Elicia](#)
Subject: RE: historical hearing Aug 12th for corner of canton and mayfield
Date: Thursday, August 13, 2026 8:45:27 AM
Attachments: [image002.png](#)

Good morning, Rhonda.

Thank you for your feedback on this request. We will include your comments with this item as it moves through the public hearing process.

Best regards,

Michael Woodman, AICP

Planning + Development Services Manager

Community Development

City of Alpharetta, Georgia

2 Park Plaza

Alpharetta, GA 30009

P: 678.297.6072

E: mwoodman@alpharetta.ga.us



From: info@RealEstateRhonda.com <info@realestaterhonda.com>
Sent: Wednesday, August 12, 2026 9:46 PM
To: Woodman, Michael <mwoodman@alpharetta.ga.us>
Subject: historical hearing Aug 12th for corner of canton and mayfield

Michael,

I was unable to attend the drop in tonight due to work schedule.

I would like to express that I have been lightly following this but do not know every detail that has transpired. And was not able to attend to ask questions.

I do want to express my thoughts on the matter or what I am to believe.

- I am in favor to keeping and renovating the existing building.

- IMO recreating a historical rendering/replication is not historical preservation.
- As a realtor the purchaser of subject property I am sure was well aware of the proposed preservation. I could only guess that they had hoped to purchase the property and do some sort of work around with the City. A risk I am sure.
- It is my understanding that the building was assessed prior to the sale at some point and it was found to be salvageable at that time. I understand the developer is claiming that it has fallen in disrepair. IF this is a fact that it has fallen into disrepair because of their negligence, my opinion is that their actions caused this and it still does not elevate them from the responsibility they agreed.
- IF this WAS a scenario where an individual had purchased the lot for single family use, they would definitely have follow all the preservation rule established by the City.
- In other big Cities such as Chicago for example when developers buy gutted shells of brown stones they still have to restore to historical preservation rules and standards
-

On a side note, and far to late. This approved development is horrible, current curb cuts show narrow one way streets? I can only assume the developer was given a generous steam variance. Large specimen trees were removed. And one horrible lot facing CVS?

As a realtor, neighborhood such as this only create issue of parking once completed. Home designs with tiny garages that anything larger than a compact car would not fit and no storage areas, cause outdoor driveway parking, due to lack of garage /space. Causing our city to look like an apartment complex rather than upscale area that it is. Additionally there is no auxiliary parking for multiple driver households, guest or vendor/contractors such as house cleaners or repair/delivery vehicles. This even creates problems for realtors trying to show property.

It would be nice if the city would require developers to create space for overflow parking in each of these minimal lot line developments. And create garages bigger than 20x20.

Thanks for hearing me out about this historical hearing and the side bar opinion of the development.

Rhonda



Rhonda Hofer
Realtor/Advisor

(770) 871-9600 Cell/Text
info@RealEstateRhonda.com
www.RealEstateRhonda.com

33 South Main Street Suite 201
Alpharetta, GA 30009
770-475-0505



Reminder: email is not secure or confidential. Except in the limited circumstance where you have requested instructions for sending earnest-money deposit (and you will verify the instructions by phone before authorizing any funds transfer), Berkshire Hathaway HomeServices Georgia Properties or myself will **never** request that you send funds or nonpublic personal information, such as credit card or debit card numbers or bank account and/or routing numbers, by email. If you receive an email message concerning any transaction involving Berkshire Hathaway HomeServices Georgia Properties, and the email requests that you send funds or provide nonpublic personal information, **do not respond** to the email or phone numbers in the email and immediately contact Berkshire Hathaway HomeServices Georgia Properties to notify of suspected email fraud at: fraud@bhhsgeorgia.com or 678-352-4490. Additionally, contact me via phone to alert of the suspect email.

CITY OF ALPHARETTA

PUBLIC HEARING APPLICATION

FOR OFFICE USE ONLY
PH-26-15

Case #

PH #

☐ Property Taxes & Code Violations notified

☐ Fee Paid Initial

COMMUNITY DEVELOPMENT DEPARTMENT

2 PARK PLAZA

ALPHARETTA, GA 30009

- 1 This page should be the first page in each of your completed application packets
- 2 It is preferred that all responses be typed. Illegible applications will not be accepted
- 3 Prior to signing and submitting your application, please check all information supplied on the following pages to ensure that all responses are complete and accurate. Incomplete applications will not be accepted
- 4 Payment of all applicable fees must be made at the time of application. Payment may be made via cash, credit card (American Express, MasterCard or Visa), or check made payable to "City of Alpharetta". Please note that a 3% convenience fee will be added to all credit card transactions.
- 5 Applications will be accepted on the designated submittal dates between the hours of 8:30 AM and 3:30 PM
- 6 If you have any questions regarding this form, please contact the Community Development Department by calling 678-297-6070

Contact Information:

Contact Name **Chris Davis**

Telephone

Address **285 W Wieuca Rd**

City **5010**

City **Atlanta**

State **GA**

Zip **30342**

Fax

Mobile Tel

Email

Subject Property Information:

Address **193 Canton Street**

Current Zoning **DTR**

District **10**

Section

Land Lot

Parcel ID **22 482212520161**

Proposed Zoning

Current Use

Historic Home

This Application for *Check All That Apply*

☐ Conditional Use

☐ Master Plan Amendment

☐ Comprehensive Plan Amendment

☐ Rezoning

☐ Master Plan Review

☐ Variance

☒ Public Hearing

☐ Encroachment

☐ Other (Specify)

APPLICANT REQUEST AND INTENT

What is the proposed use(s) of the property?

Development of 16 new construction homes as well as the restoration of the current dwelling on the property known as the Weatherford House

Applicant's Request (Please itemize the proposal):

Certificate of Appropriateness (COA) for the proposal of the restoration of the historic home

Applicant's Intent (Please describe what the proposal would facilitate)

The intent of this proposal is to allow the reconstruction of the Weatherford House in a structurally sound and historically consistent manner. This amendment would facilitate the renovation of the existing house to meet current building codes required for the issuance of a certificate occupancy by the city.

The renovated Weatherford House will maintain the same exterior architectural presence along Canton Street, ensuring continuity with surrounding properties and preserving the visual character of the area. This approach upholds the original preservation intent of the zoning condition as well as comments from the city's consultant for historic restorations while addressing necessary structural and safety considerations. Any exterior materials deemed unsafe by 3rd party consultant (i.e. asbestos, lead, rot, etc) will be replaced with similar new materials to match original intent.

PROPERTY OWNER AUTHORIZATION

Property Owner Information:

Contact Name: George Jackson

Telephone: [REDACTED]

Address: 668 Cooledge Ave NE

Suite: _____

City: Atlanta

State: GA

Zip: 30306

Authorization:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of Fulton County, Georgia, of the property identified below, which is the subject of the attached Application for Public Hearing before the City of Alpharetta, Georgia.

As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Public Hearing in request of the items indicated below.

☐ Annexation

☐ Special Use

☐ Rezoning

☐ Conditional Use

☐ Variance

☐ Master Plan

☐ Land Use Application

☒ Other

Certificate of Appropriateness

Property Owner's Authorized Applicant (if applicable):

Name of Authorized Applicant: Chris Davis

Telephone: [REDACTED]

Suite: _____

Address: 3620 Piedmont Rd NE

City: Atlanta

State: GA

Zip: 30305

So Sworn and Attested:

Owner Signature

[Signature]

Notary:

Notary Signature

Margaret Byrnes Swinger



Date: 6/25/2026

Date: 6/25/2024

DISCLOSURE FORM

The Official Code of Georgia Annotated requires disclosure of campaign contributions to government officials by an applicant or opponent of a rezoning or public hearing petition (O.C.G.A. 36-67-A-1).

Applicants must file this form with the City of Alpharetta Community Development Department within ten (10) days after filing for rezoning or public hearing. Opponents to a rezoning or public hearing petition must file this form five (5) days prior to the Planning Commission meeting at which the subject rezoning or public hearing petition is scheduled to be heard.

Name of Applicant or Opponent: **Chris Davis**

Subject Public Hearing Case: **Weatherford House Certificate of Appropriateness**

Campaign Contribution Information:

Please provide the requested information for each contribution with a dollar amount or value of \$250 or more made within the past two (2) years to an Alpharetta Official by the individual identified above. Please use a separate form for each Alpharetta Official to whom such a contribution has been made.

If the individual identified above has made no such contributions to an Alpharetta Official within the past two (2) years, please indicate this by entering "N/A" on the appropriate lines below.

Name of Official: **N/A** Position: **N/A**

Description of Contribution: **N/A** Value: **N/A**

Description of Contribution: **N/A** Value: **N/A**

Description of Contribution: **N/A** Value: **N/A**

Description of Contribution: **N/A** Value: **N/A**

Description of Contribution: **N/A** Value: **N/A**

Campaign Contribution Information:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Disclosure Form is true and accurate and that I have disclosed herein any and all campaign contributions made to an Official of the City of Alpharetta, Georgia in accordance with O.C.G.A. 36-67-A-1.

Signature:



Date:

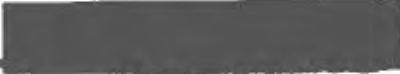
6/25/26

CITIZEN PARTICIPATION FORM - PART A

This form must be completed and submitted with the applicant's completed Public Hearing Application. Applications submitted to the City of Alpharetta without a completed Citizen Participation Form - Part A will not be accepted.

Public Hearing or Project Name: Weatherford House Restoration Certificate of Appropriateness

Contact Name: Chris Davis

Telephone: 

The following people will be notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified. Use additional pages as needed.

Please see Attached Mailing List

Method by which these individuals will be contacted. Please mark all that apply. If you select "Other," please provide a description of the method of contact that will be used.

☒

Letter

☐

Personal Visit

☐

Telephone

☐

Group Meeting

☐

Email

☐

Other (Please Specify)

Please describe the method(s) by which these individuals will have the opportunity to respond or contact the applicant with questions or concerns about the proposal.

Name

AB REAL ESTATE INVESTMENTS LLC
ALBRIGHT IDEAS LLC
AUGHEY ROSANNA MARIA & JEFFREY M
AURIEMMA AMY C
BALLARD JERRI GUY
BEATY TOM & KENDRA JEAN
BERMIC ROPERTIES LLC
BLEVINS COY & ETTA KATHARINE
BRCKA TERRY
BRIGHT JOHN M & BRIGHT KRISTIN T
BROWN & MONDI PROPERTIES INC
BROWN RITA
BRUDDY LLC
BUCHANAN JOHN CREIGHTON IV & BUCHA NAN TRACY BULLOC
BURGESS JOHN R SR & BURGESS VIRGIN IA P
BUTTS ROBERT R
CANTON STREET COMMONS HOMEOWNERS A SSOIATION INC
CANTON STREET FD DEVELOPMENT PARTN ERS LLC
CHU PHIL FEIGH & XIE JUN XIA
CITY OF ALPHARETTA
CITY OF ALPHARETTA GEORGIA
CMP PROPERTIES LLC
COLBY KRISTEN
COLE CV ALPHARETTA LLC
COLLINS MARINE GROUP LLC
CROSS THOMAS D & JANET E
DOMINO TRUST THE
DONALD A & KRISTA L DEMARINIS REVO CABLE TRUST THE
EHORSE L L C
FILIPOWICZ DAVID F & LAURA
FMD POWERS PLACE LLC
FRANCIS SCHINDLER LLC
FROM HAIR ON SALON L L C
GEISEL PAMELA A
GENERAL CONVENIENCE STORE LLC
GUBKIN HOLDINGS LLC
HARKNESS JEFFREY & TRACY
HI RIVER PROPERTIES LLC
HILLEBRANDT KARL VON & HILLEBRANDT ANNE VON
HOLCOMBE STANLEY & HOLCOMBE ANNE
HUDSON ANN PRICE
HUDSON ZACHERY CLEMETH & JENNY ROG ERS
INJURY & WELLNESS SPECIALISTS OF G EORGIA LLC
JAMES EDWARD WATTS LIVING TRUST THE
JARVIS REBECCA BROOK & MICHAEL TODD
JCNC REALTY LLC
JEFFREY & SUSAN NEPL JOINT REVOCA BLE TRUST THE
JMX BRANDS PROPERTIES II LLC
JOBETH PROPERTIES LLC
JORDAN D WESLEY
KEARCE JAMES T JR
KIM KON & SOON JA

Mailing Address

1110 POWERS PL ALPHARETTA GA 30004
159 N MAIN ST ALPHARETTA GA 30009
144 CANTON ST ALPHARETTA GA 30009
138 CANTON ST ALPHARETTA GA 30009
240 JASMINE GARDEN WAY ALPHARETTA GA 30009
211 UPSHAW DR ALPHARETTA GA 30009
1040 POWERS PL ALPHARETTA GA 30009
245 JASMINE GARDEN WAY ALPHARETTA GA 30009
225 JASMINE GARDEN WAY ALPHARETTA GA 30009
132 CANTON ST ALPHARETTA GA 30009
18 CUMMING ST ALPHARETTA GA 30009
190 CANTON ST ALPHARETTA GA 30004
2441 US HWY 98 W STE 108 SANTA ROSA BEACH FL 32459
181 UPSHAW DR ALPHARETTA GA 30009
255 CANTON ST ALPHARETTA GA 30009
5360 FRANKLIN GOLDMINE RD CUMMING GA 30028
2675 PACES FERRY RD STE 125 ATLANTA GA 30339
91 W WIEUCA RD BLDG/STE A 2000 ATLANTA GA 30342
449 ANGLIN WALK ALPHARETTA GA 30009
2 SOUTH MAIN ST ALPHARETTA GA 30004
2 S MAIN ST ALPHARETTA GA 30009
254 N MAIN ST ALPHARETTA GA 30009
212 CANTON ST ALPHARETTA GA 30009
P.O. BOX 4900 DEPT 604 SCOTTSDALE AZ 85261-4900
725 COOPER SANDY CV MILTON GA 30004
235 JASMINE GARDEN WAY ALPHARETTA GA 30009
141 CANTON ST UNIT 4 ALPHARETTA GA 30009
145 CANTON ST ALPHARETTA GA 30009
1070 POWERS PL ALPHARETTA GA 30004
260 CANTON ST ALPHARETTA GA 30009
1095 POWERS PL ALPHARETTA GA 30009
143 MAYFIELD RD ALPHARETTA GA 30009
1015 POWERS PL SUITE 105 ALPHARETTA GA 30009
1000 POWERS PL ALPHARETTA GA 30004
174 N MAIN ST ALPHARETTA GA 30009
210 PORTSMOUTH CT ROSWELL GA 30076
220 JASMINE GARDEN WAY ALPHARETTA GA 30009
7917 SONATA BAY POINT LAKE WORTH FL 33467-7067
243 CANTON ST ALPHARETTA GA 30009
250 JASMINE GARDEN WAY ALPHARETTA GA 30009
140 CANTON ST ALPHARETTA GA 30009
253 CANTON ST ALPHARETTA GA 30009
1080 POWERS PL ALPHARETTA GA 30009
430 ANGLIN WALK ALPHARETTA GA 30009
148 CANTON ST ALPHARETTA GA 30009
1090 POWERS PL ALPHARETTA GA 30009
255 JASMINE GARDEN WAY ALPHARETTA GA 30009
3709 N LOCKWOOD RIDGE RD SARASOTA FL 34234
305 ANNA MARIA BLVD CLEMSON SC 29631-2183
2711 CANOPY CIR ALPHARETTA GA 30009
181 UPSHAW DR ALPHARETTA GA 30009
1160 ALPHARETTA ST ROSWELL GA 30075

KINGDOM AT MAIN LLC
 KINGDOM AT MAIN LLC
 KLAM INC
 KRAMER ROY WILLIAM & KRAMER CELIA MOORE
 LEWIS CLAUDIA B
 LORVEN PROPERTIES LLC
 MAIN STREET COMMONS HOLDING LLC
 MAIN STREET COMMONS OFFICE PARK OW NERS ASSOCIATION
 MANNING ON THE SQUARE COMMUNITY AS SN INC
 MAX AUTO REAL ESTATE LLC
 MAXWELL LUKE HARRISON & LINDSAY NI COLE
 MAYER GLEN J & LINDA L
 MAYFIELD LLC
 MC PHERSON PATRICK & MC PHERSON MA RSHA G
 MCELROY BRIAN HUDSON & MCELROY TAM MY LYNN
 MERIDIAN GROUP INC THE
 MMCO PROPERTIES LLC
 O DONNELL ROBERT J & CHERYL C
 OI S ENG CRANDUS TRUST THE
 ORGANIC SUGARING & WAXING LLC
 OVERS THOMAS & LORI L
 PENELOPE A GURLEY LIVING TRUST THE
 PERFECT FIT BY ELENA LLC
 PHILLIPS ALPHARETTA LLC
 PRINCE ELIZABETH AGA
 RADLEY DANIEL G & CHERYL C
 RANDY & BARBARA JOHNSTON REVOCABLE LIVING TRUST TH
 RM BILOXI LLC
 ROATH CHRISTOPHER SCOTT & DAVIS TI FFANY LEIGH
 RUOFF SCOTT C & DENISE E
 RUSHIN ANTHONY A & RUSHIN LUANN R
 SBLD PROPERTIES LLC
 SHAMOUN JOSEPH D JR & LINDA
 SIEGEL MITCHELL LEWIS & GOLDRING P ATRICIA ANN
 SLAPPEY E SCOTT & PAIGE H
 SLAPPEY EDWARD SCOTT & PAIGE H
 SNH AL GEORGIA LLC
 SOLLEY ROBERT A
 SONI MONITA
 SPENELLO JAMES PATRICK & SPENELOR HONDA DENISE
 SRISAI REALTY LLC
 SRP SUB LLC
 VNG INVESTMENTS LLC
 WREDBERG CONRAD JOHN III & GALLIGO S SUSAN H

4561 OLD PERIMETER WAY UNIT 710 ATLANTA GA 30346
 4651 OLDE PERIMETER WAY UNIT 710 ATLANTA GA 30346
 4465 PINEHOLLOW CT ALPHARETTA GA 30022
 136 CANTON ST ALPHARETTA GA 30009
 184 CANTON ST ALPHARETTA GA 30004-1606
 1125 GOLDENROD LANE SUWANEE GA 30024
 365 BIRCH RILL DR ALPHARETTA GA 30022
 1102 ABBEY CT ALPHARETTA GA 30004
 4400 NORTH POINT PKWY STE 295 ALPHARETTA GA 30022
 1101 MONROE ST TOLEDO OH 43604
 151 UPSHAW DR ALPHARETTA GA 30009
 205 JASMINE GARDEN WAY ALPHARETTA GA 30009
 766 BLACKFOOT TRL SUWANEE GA 30024-1753
 134 CANTON ST ALPHARETTA GA 30009
 233 CANTON ST ALPHARETTA GA 30009
 1050 POWERS PL ALPHARETTA GA 30004
 5005 ROXBURGH DR ROSWELL GA 30076
 134 N MAIN ST ALPHARETTA GA 30004-1623
 6 N CARPENTER UNIT 5A CHICAGO IL 60607
 1130 POWERS PL ALPHARETTA GA 30009
 275 JASMINE GARDEN WAY ALPHARETTA GA 30009
 440 ANGLIN WALK ALPHARETTA GA 30009
 120 POWERS PL ALPHARETTA GA 30009-8359
 830 KENNESAW AVE NW MARIETTA GA 30060
 248 CANTON ST ALPHARETTA GA 30009
 147 CANTON ST ALPHARETTA GA 30009
 265 JASMINE GARDEN WAY ALPHARETTA GA 30009
 1075 POWERS PL STE B ALPHARETTA GA 30009
 410 ANGLIN WALK ALPHARETTA GA 30009
 260 JASMINE GARDEN WAY ALPHARETTA GA 30009
 330 LILAC GARDEN GLN ALPHARETTA GA 30009
 3490 WATERS COVE WAY ALPHARETTA GA 30022
 161 UPSHAW DR ALPHARETTA GA 30009
 400 ANGLIN WALK ALPHARETTA GA 30009
 230 JASMINE GARDEN WAY ALPHARETTA GA 30009-3670
 230 JASMINE GARDEN WAY ALPHARETTA GA 30009
 255 WASHINGTON ST NEWTON MA 02458
 1105 POWERS PL ALPHARETTA GA 30004
 450 ANGLIN WALK ALPHARETTA GA 30009
 143 CANTON ST ALPHARETTA GA 30009
 5755 N POINT PKWY STE 262 ALPHARETTA GA 30022
 8665 E HARTFORD STE 200 SCOTTSDALE AZ 85255
 6038 EAGLES REST TRL BUFORD GA 30518
 420 ANGLIN WALK ALPHARETTA GA 30009

Design Standards for Proposed Material Changes. Any material change in appearance to a historic property shall comply with the following minimum standards:

1. **General Standards.** All material changes in the appearance of exterior architectural features of the historic property shall conform with the United States Secretary of the Interior's Standards for the Treatment of Historic Buildings with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings (the "U.S. Secretary of the Interior's Standards and Guidelines"), as applicable.
2. **Street-Facing Facades.** All street-facing facades must be compatible with the existing or original structure:
 - a. The proportion between the width and height of the proposed alterations must be compatible with any street-facing facade of the existing or original structure.
 - b. The proportions and relationships between doors and windows in street-facing facades must be compatible with the existing or original structure.
 - c. Any alterations consisting of side additions to a street-facing facade must have a minimum setback of twelve (12) inches from the plane of the existing street-facing facade, and any associated roofline must have a minimum setback of twelve (12) inches from the existing roof line.
 - d. The following exceptions to the foregoing minimum setback requirements will be permitted where there is, on the effective date, an existing side addition or side porch to a street-facing facade:
 - i. An existing open-air porch that does not comply with the 12-inch setback requirement may be enclosed within the existing plane of the porch; and
 - ii. An existing side addition that does not comply with the 12-inch setback requirement may be extended a further five (5) feet to the side of the same plane as the existing side addition.

2. **Height and Roof Shapes.** The height of the proposed alterations must be compatible with the existing building or structure. The design of the roof and any dormers must be compatible with the existing roof and dormers. Any alterations must preserve the existing or original roof ridge, roof pitch and overhangs of the existing or original building or structure and new or altered dormers must be compatible with the typical styles of dormers associated with the original building or structure.
3. **Architectural Details.** Architectural details and materials must be incorporated as necessary to relate the new with the old and to preserve and enhance the character-defining features of the existing or original building or structure. Windows may be replaced as long as they contain real or simulated divided lights, grille patterns, sizes and shapes that are compatible with the typical style of windows associated with the original building or structure and otherwise comply with the requirements of this subparagraph.
5. **Retention of Original Structure.** After completion of the proposed alterations:
 - a. 100% of the existing street-facing facade width and height must be retained intact consistent with the other requirements of this ordinance.
 - b. At least 75% of the floor area of the original structure must remain. Interior renovations and any restoration to match the original will not be deducted in determining compliance with the 75% requirement.
6. **Landscape Requirements.** Landscaping in front yards shall be subject to the following standards:
 - a. Trees greater than six (6) inches in diameter shall be conserved, whenever possible;
 - b. Plantings and landscapes that are significant in defining the character of a property or area shall be retained;
 - c. Diseased or deteriorated plantings and landscapes that are significant in defining the character of a property or area shall be replaced with healthy specimens of identical or similar species, and the landscape shall be retained; and
 - d. Landscaping in front yards shall be designed to reflect the period or style of the principal structure on the property.

Responses to Design Standards

Weatherford House – 193 Canton Street, Alpharetta, Georgia

1. General Standards

All material changes in the appearance of exterior architectural features of the historic property shall conform with the United States Secretary of the Interior's Standards for the Treatment of Historic Buildings with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings (the 'U.S. Secretary of the Interior's Standards and Guidelines'), as applicable.

Our team has prepared this rehabilitation in accordance with the Secretary of the Interior's Standards for Rehabilitation while recognizing the unique structural conditions present within the Weatherford House. The objective is to preserve the historic character of the front facing facade while allowing safe occupancy under current building codes. Original materials will be retained wherever feasible. Materials that cannot be safely preserved due to deterioration or structural inadequacy will be replaced with matching or closely compatible materials consistent with the original architectural intent. Additional information is provided in Attachment C.

2(a) Street-Facing Facades

The proportion between the width and height of the proposed alterations must be compatible with any street-facing facade of the existing or original structure.

The existing width, height, massing, and overall proportions of the historic street-facing facade are maintained. The principal architectural composition remains unchanged and preserves the building's relationship to Canton Street.

2(b)

The proportions and relationships between doors and windows in street-facing facades must be compatible with the existing or original structure.

The rhythm and hierarchy of openings are preserved. Replacement units replicate the proportions and appearance of the original elements while providing modern performance where required.

2(c)

Any alterations consisting of side additions to a street-facing facade must have a minimum setback of twelve (12) inches from the plane of the existing street-facing facade, and any associated roofline must have a minimum setback of twelve (12) inches from the existing roof line.

The historic street-facing facade remains the dominant architectural element. Additions occur behind the primary facade and remain visually subordinate.

2(d)

The following exceptions to the foregoing minimum setback requirements will be permitted where there is, on the effective date, an existing side addition or side porch to a street-facing facade...

The proposed rehabilitation does not rely upon these exceptions. The existing historic front facade remains intact and the improvements preserve the established relationship to the streetscape.

3. Height and Roof Shapes

The height of the proposed alterations must be compatible with the existing building or structure...

The rehabilitation preserves the overall height, principal roof form, ridge height, roof pitch, and chimney while accommodating modern structural requirements.

4. Architectural Details

Architectural details and materials must be incorporated as necessary to relate the new with the old and to preserve and enhance the character-defining features...

The rehabilitation preserves defining architectural features. Where replacement is necessary, materials will closely match the originals in size, profile, texture, and appearance.

5(a) Retention of Original Structure

100% of the existing street-facing facade width and height must be retained intact consistent with the other requirements of this ordinance.

The project has been specifically designed to preserve the complete street-facing facade. Temporary removal of deteriorated components may be necessary for structural stabilization, but the completed rehabilitation will preserve the historic facade.

5(b)

At least 75% of the floor area of the original structure must remain. Interior renovations and any restoration to match the original will not be deducted in determining compliance with the 75% requirement.

Existing structural and architectural components will be evaluated individually, retained wherever feasible, and replaced only where necessary to achieve structural integrity and code compliance while maintaining the historic character.

6(a) Landscape

Trees greater than six (6) inches in diameter shall be conserved, whenever possible.

Existing mature trees are being preserved wherever practical and consistent with construction requirements.

6(b)

Plantings and landscapes that are significant in defining the character of a property or area shall be retained.

The landscape plan maintains a traditional front yard appropriate to the Weatherford House and surrounding streetscape.

6(c)

Diseased or deteriorated plantings... shall be replaced with healthy specimens of identical or similar species...

Replacement plantings will consist of healthy specimens consistent with the historic landscape character.

6(d)

Landscaping in front yards shall be designed to reflect the period or style of the principal structure on the property.

The proposed front yard landscaping complements the historic architecture and broader Jackson Park development.

Letter of Intent
Certificate of Appropriateness Application
Rehabilitation of the John C. Weatherford House
193 Canton Street, Alpharetta, Georgia

Our team respectfully submits the enclosed supplemental information in support of the pending Certificate of Appropriateness application for the rehabilitation of the John C. Weatherford House located at 193 Canton Street in Alpharetta.

The purpose of this submission is to provide additional information requested during staff review, including responses to the applicable Design Standards for Proposed Material Changes, clarification regarding the proposed rehabilitation methodology, updated building information, and supplemental engineering information describing the structural stabilization measures that have been implemented to preserve the residence during the review process.

From the outset of this project, rehabilitation of the Weatherford House has been a fundamental component of the Jackson Park development. Our team accepted the responsibility of preserving this historic residence and has worked throughout the design process to develop a plan that respects its historic character while ensuring it can safely serve as a residence for future generations.

As the project progressed, additional structural investigation and engineering analysis provided a more complete understanding of the home's condition. Those evaluations confirmed that significant structural intervention will be required to safely rehabilitate the residence and bring it into compliance with current structural and life-safety requirements. Rather than altering the architectural character of the home, our team worked collaboratively with our architect and structural engineer to develop a rehabilitation methodology that prioritizes preservation of the residence's defining historic features while providing the structural integrity necessary for its continued use.

The proposed rehabilitation has been guided by several fundamental principles. First, the historic residence should remain the defining architectural feature of the property. The existing front facade, primary roof forms, front porch, chimney, and overall architectural character of the Weatherford House remain the focus of the design and continue to define the home's presence along Canton Street. The proposed addition has been intentionally located behind the historic residence so that it

remains visually subordinate to the original structure when viewed from the public right-of-way. The revised architectural plans continue to reflect this design approach.

Second, historically significant building materials and architectural features should be preserved whenever reasonably feasible. Because portions of the existing structure cannot safely remain in place during the rehabilitation process, the project will utilize a carefully managed deconstruction methodology that allows materials and architectural elements to be documented, evaluated, salvaged, and reincorporated into the rehabilitated residence wherever practical. Materials that cannot reasonably be reused because of deterioration or structural limitations will be replaced with materials that closely match the original appearance using the closest commercially available equivalent.

Finally, rehabilitation should ensure the long-term preservation of the Weatherford House. Our objective is not simply to repair portions of the structure, but to provide a comprehensive rehabilitation that allows this historic residence to remain a safe, functional, and architecturally significant home for decades to come.

Throughout the review process, our team has remained committed to protecting the existing residence. Temporary roof protection has been installed to minimize additional weather-related deterioration while rehabilitation plans have been developed and reviewed. In addition, Moore Engineering has designed and overseen structural stabilization measures intended to preserve the residence during the rehabilitation process.

The accompanying supplemental materials respond to the comments and questions identified during staff review and are intended to assist City staff and the Historic Preservation Commission in evaluating the proposed rehabilitation.

Respectfully submitted,

Chris Davis
Managing Partner
Mayfield Canton Development Group, LLC



Project Summary – Existing Structure and Proposed Addition

Weatherford House
193 Canton Street
Alpharetta, Georgia

Requested Information	Response
Existing Structure	2,786 square feet
Existing Configuration	Three (3) bedrooms / One (1) bathroom
Proposed Finished Residence (excluding garage)	3,542.91 square feet
Garage Area	427.93 square feet
Proposed Finished Residence (including garage)	3,970.84 square feet
Proposed Addition (excluding garage)	756.91 square feet
Proposed Addition (including garage)	1,184.84 square feet
Proposed Configuration	Five (5) bedrooms / Five and one-half (5.5) bathrooms with an attached two-car garage. The addition is located to the rear of the historic residence and is designed to remain subordinate to the original structure while preserving the historic street-facing facade.

MOORE ENGINEERING INCORPORATED

STRUCTURAL AND GEOTECHNICAL SERVICES

**2919 Cravey Trail NE
Atlanta, GA 30345**

**770-366-6258 (cell)
MarilynMooreEngineering@gmail.com**

July 17, 2026

KBD Development
3620 Piedmont Road
Suite B-5010
Atlanta, GA 30305

RE: Structural Condition at Rear of House
 Lot 9, Jackson Park S/D – Weatherford House

Dear Mr. Davis:

As the engineer of record for both the Weatherford House and Jackson Park S/D, MEI has maintained a continued presence overlooking the construction work and providing third party inspections for the City of Alpharetta. As you know, we are on-site every week and more, as your team requires.

Pursuant to the conversation yesterday (regarding the stability of the rear wall of the Weatherford House), please find the following information confirming the construction and supporting structure is as we designed and is more than adequate.

Please note: The following descriptions are keyed by numbers to the attached photo (better explaining this content with a 'visual element' to the actual part of the structure being discussed).

No. 1- Foundation Wall Construction

As previously documented, the existing alluvial soils under the house are not usable (as they cannot support the loads of the house long term). These soils needed to be excavated down over eleven feet to be on competent soil. MEI was on-site while this work was being accomplished.

As per our instruction and design, KBD built a stout triangulated temporary wall (from front to rear – See No. 4) to support the loads of the house and allow the old broken exterior wall blocks and soils to be excavated and readied for the new support wall. The newly constructed engineered concrete and steel reinforced wall (on the left side of the house) began behind the rear of the existing house and continued in considered sections to the front corner. A 10-ton steel support was erected under the corner of the actual house (not under the deck) to allow the excavation to progress forward.

Excavating in sections and constructing new wall in sections is the conservative process to support an old crumbling structure. That first pour extended four feet inward from the actual corner of the house. That assured the house corner would be stable.

Moving from the rear toward the front of the house, an additional steel 10-ton support was placed every four feet. This continued along the entire left side. The supports were placed such that they were included in the wall reinforcement steel. The tops of these steel supports are visible between the wall and the old structure above.

With the left side completed, no additional structure is required until the actual house deconstruction and reconstruction begins.

No. 2 – Crawl Space Access Door Opening

When viewing the rear of the house, there is an opening across the right side, which was the original access door to the crawl space. The access door and door jamb were removed. A double rim joist exists above that opening to the corner of the house, which allowed the span to be open and self-supporting (moving the load to the corner of the house, not to the deck).

No. 3 – House Corner and House Joist Loads

The actual house corner (carrying the first floor and roof loads) is supported directly below by means of the new temporary wall, with angled braces. The balance of the space to the right of the house corner is the rotted deck framing which does not and cannot support any load presently. The temporary walls and bracing are supporting those loads.

No. 4 – Temporary 2x6 Support Wall

The first-floor joists were placed from left to right during framing. The new temporary framed 2x6 wall was placed directly under all the floor joists, which supports this rear section of the house, with added triangulated braces to preclude left to right movement. In addition, please note the large, triangulated brace adding support to the rear corner of the house.

No. 5 – Deck Corner Support

Further right, the rear deck corner is fully supported on the new concrete wall with T-framing.

No. 6 – Optional Column

An optional column was added under the rotted deck joist and rim band which only supports that part of the deck. The purpose would be to help support that deck if someone were to ignore the warnings and try to walk out on the deck.

Any official with engineering background viewing this area can see how all is supported currently. When the new house is constructed the rear wall area will be removed and reframed.

Should you have any questions, please contact me.

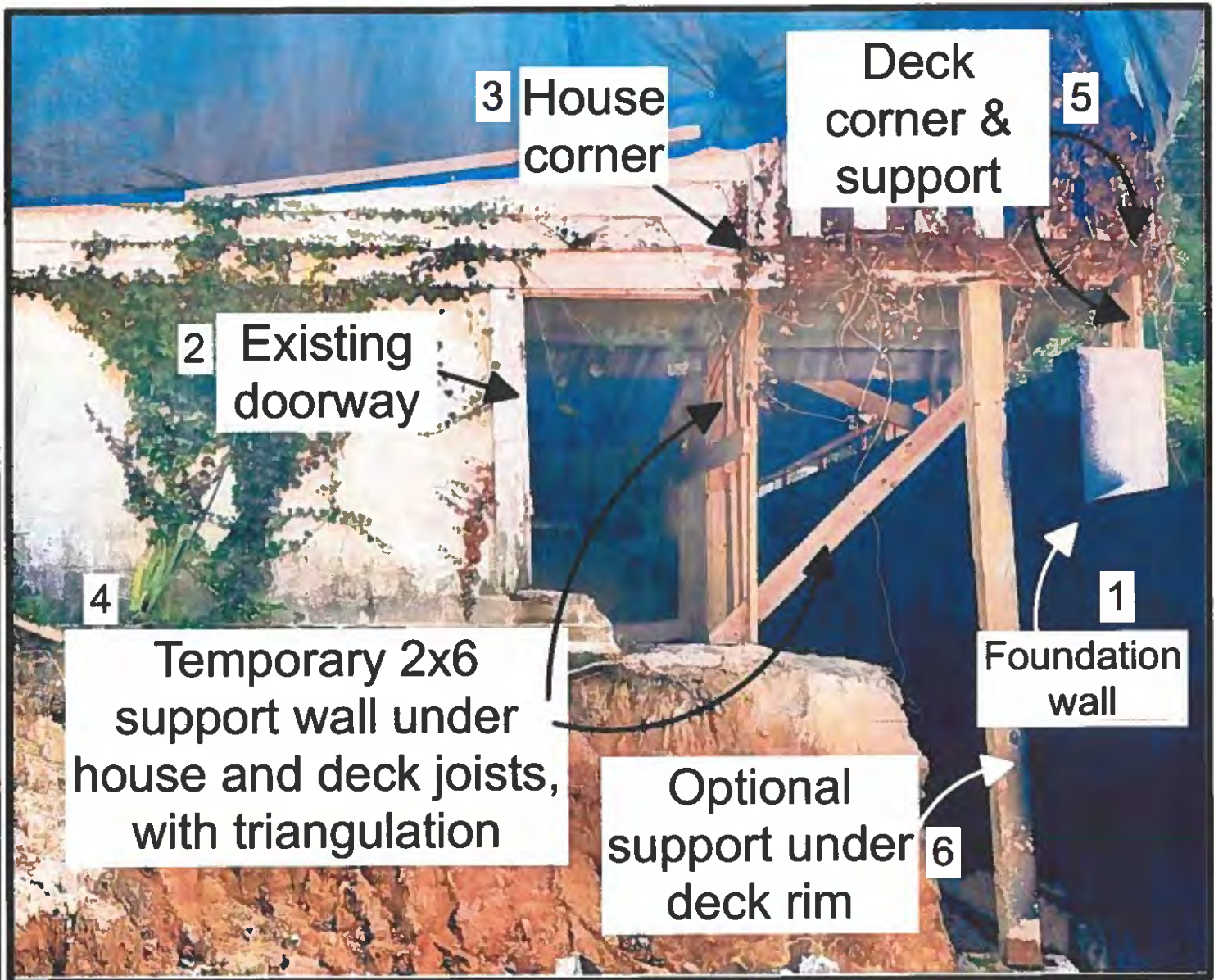
Very truly yours,

MOORE ENGINEERING, Inc.

Marilyn J. Moore, P.E.
GA P.E. Number 018777
ICC Certification Number 5190903-R5

MOORE ENGINEERING, Inc.



MOORE ENGINEERING
INCORPORATED
STRUCTURAL AND GEOTECHNICAL SERVICES
2919 Cravey Trail NE, Atlanta, GA 30345
MarilynMooreEngineering@gmail.com / 770-366-6258

**TEMPORARY
SUPPORT FOR REAR
OF HOUSE**

WEATHERFORD HOUSE
193 CANTON STREET
ALPHARETTA, GA
KBD DEVELOPMENT

**SHEET
1
JULY 17,
2026**

Real Estate

View Bill

As of	6/30/2026
Bill Year	2025
Bill	2517975
Owner	MAYFIELD CANTON DEVELOPMENT GR
Parcel ID	22 -4822-1252-016-1

Instalment	Pay By	Amount	Payments/Credits	Balance	Interest	Due
1	12/1/2025	\$2,584.28	\$2,584.28	\$0.00	\$0.00	\$0.00
Interest			\$91.49			\$0.00
TOTAL		\$2,584.28	\$2,584.28	\$0.00	\$0.00	\$0.00

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[Alcohol and Business License Renewals](#)
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[Tax Rates](#)
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[Utility Billing](#)

NEW CONSTRUCTION FOR
THE RESIDENCES AT JACKSON PARK
LOT 9 (HISTORICAL)

193 CANTON STREET, ALPHARETTA, GA 30009

INDEX TO DRAWINGS

A-0.0	COVER SHEET
A-1.0	CANTON STREET SITE PLAN & STREET ELEVATION
A-1.1	BASEMENT FLOOR PLAN
A-1.2	FIRST FLOOR PLAN
A-1.3	SECOND FLOOR PLAN
A-1.4	ROOF PLAN
A-2.0	FRONT ELEVATION CHANGES COMPARISON
A-2.1	FRONT AND REAR EXTERIOR ELEVATIONS
A-2.2	RIGHT SIDE EXTERIOR ELEVATION
A-2.3	LEFT SIDE EXTERIOR ELEVATION

GENERAL NOTES

- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL AND MECHANICAL.
- DO NOT SCALE DRAWINGS
- THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER/ GENERAL GUIDELINES FOR SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTARY DRAWINGS FROM THE ARCHITECT.
- IT IS REQUIRED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF FOUNDATION OR FACE OF FRAMING UNLESS NOTED OTHERWISE.
- IT IS THE RESPONSIBILITY OF THE OWNER AND /OR THE CONTRACTOR TO CHECK THE STATE AND LOCAL BUILDING CODES, SUBDIVISION RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.
- ANY DISCREPANCIES CONTAINED WITHIN THESE DRAWINGS ARE TO BE IMMEDIATELY REPORTED TO LINDA MACARTHUR ARCHITECT @ 404-233-4771, LINDA@LINDAMACARTHURARCHITECT.COM.
- THE INFORMATION CONTAINED WITHIN THESE DOCUMENTS IS ISSUED TO SHOW DESIGN INTENT AND BASIC FRAMING DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO APPLY STANDARD CONSTRUCTION PRACTICES WHICH WILL PROVIDE A STRUCTURALLY SOUND AND WEATHERPROOF STRUCTURE.
- ALL CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES AND STANDARD PRACTICES.
- CONTRACTOR WILL FOLLOW ALL MANUFACTURERS' INSTALLATION INSTRUCTION AND SPECIFICATIONS
- STRUCTURAL FRAMING PLANS ARE INCLUDED IN THIS SET. NO SUBSTITUTIONS OR DEVIATIONS ARE ALLOWED UNLESS A REQUEST IS MADE VIA THE ARCHITECT. ANY FRAMING OR STRUCTURAL CHANGES WILL REQUIRE THE CONTRACTOR TO USE A LICENSED STRUCTURAL ENGINEER TO REVIEW AND DESIGN ANY AFFECTED STRUCTURAL ELEMENTS SUCH AS ALL FOOTINGS, CONCRETE SLAB, FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.
- ALL DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL WOOD FRAMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED
- ALL EFFORTS SHALL BE TAKEN TO ASSURE A "QUIET" FLOOR SYSTEM, (GLUE AND SCREW PLYWOOD DECKING TO JOISTS). PROVIDE CROSS BRACING AT JOISTS AS REQUIRED.
- CONTRACTOR SHALL VERIFY WINDOW LIST WITH ARCHITECT AND OWNER PRIOR TO PLACING WINDOW ORDER.
- DIMENSIONS GIVEN AT EACH WINDOW ARE NOMINAL AND REFER TO SASH SIZES. CONTRACTOR TO REVIEW WINDOW ORDER WITH ARCHITECT TO CLARIFY DIMENSIONAL DIFFERENCES BETWEEN MANUFACTURER'S SIZES AND THOSE CALLED OUT ON DRAWINGS. CONTRACTOR TO MAKE REQUIRED ADJUSTMENT FOR ROUGH OPENING DIMENSION.
- ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
- DOUBLE FLOOR JOISTS TO OCCUR UNDER PARTITION WALLS PARALLEL TO JOISTS DIRECTION.
- ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM OR FOOTING DESIGNED TO CARRY THE LOADS, SEE STRUCTURAL DRAWINGS.
- HARDWIRED WITH BATTERY BACKUP SMOKE DETECTORS SHALL BE INSTALLED ON ALL FLOORS. COORDINATE LOCATION WITH CODE REQUIREMENTS AND OWNER.
- PLUMBING AND MECHANICAL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW OR SHALL BE LOCATED TO MINIMIZE VISUAL IMPACT.
- CONTRACTOR TO PROVIDE TERMITE PROTECTION TREATMENT AS PER CODES AND AS PER SITE CONDITIONS AND REQUIREMENTS.
- CONTRACTOR SHALL KEEP BUILDING SITE CLEAN AND FREE OF DEBRIS.
- CONTRACTOR SHALL PROVIDE PORT-A-LET.
- GENERAL CONTRACTOR SHALL INSPECT ACTUAL SIZE AND EXCAVATED CONDITIONS PRIOR TO STARTING CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ARCHITECT OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, EXISTING STRUCTURAL CONDITIONS, OR ANY OTHER ISSUE, WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.
- ALL VISIBLE FLASHING TO BE COPPER. ROOF VALLEYS TO BE EXPOSED COPPER WHERE INDICATED.
- MANUFACTURER INSTALLATION INSTRUCTIONS, AS REQUIRED BY THIS CODE, SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION.
- USE WATER RESISTANT GUB IN WET AREAS.
- WATER RESISTANT GUB SHALL NOT BE USED OVER A VAPOR RETARDER. IN AREAS OF HIGH HUMIDITY OR ON CEILINGS WHERE THE FRAME SPACING EXCEEDS 12" ON CENTER FOR 1/2" GYPSUM AND 16" ON CENTER FOR 5/8" GYPSUM.
- MASONRY WALL SYSTEMS SHALL HAVE CORROSIVE RESISTANT METAL TIES 2'-0" O.C. PROVIDE WEEP HOLES IN EXTERIOR WYTHE OF MASONRY AT 33" O.C. WEEP HOLES SHALL BE 3/16" DIAM. OR GREATER.
- PROVIDE IC RATED RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILING.
- ELECTRICAL FIXTURES LOCATED IN DAMP OR WET AREAS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATION.
- PROVIDE GFCI PROTECTION FOR RECEPTACLES WITHIN 6'-0" OF ALL SINKS & BASINS. PROVIDE GFCI PROTECTED AT ALL EXTERIOR, BATHROOM & GARAGE LOCATIONS. PROVIDE A WALL MOUNTED GFCI PROTECTED RECEPTACLE OUTLET WITHIN 36" OF A BATHROOM OR POWDER ROOM LAVATORY.
- RECEPTACLE SPACING SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" MEASURED HORIZ. FROM AN OUTLET IN THAT SPACE. INCLUDING ANY WALL SPACE 2'-0" OR MORE IN WIDTH. LOCATIONS OF OUTLETS SHOWN ON PLANS ARE DESIRED & PRIOR TO INSTALLATION CONTRACTOR IS REQUIRED TO SCHEDULE AN ELECTRICAL WALK-THROUGH WITH THE ARCHITECT (OR INTERIOR DESIGNER, UPON APPROVAL FROM THE ARCHITECT) TO APPROVE OF FINAL OUTLET LOCATIONS.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20 AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- ALL CIRCUITS SUPPLYING RECEPTACLE OUTLETS IN BEDROOMS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED.
- NEW FOOTINGS SHALL HAVE FROST DEPTH OF 12".
- CONTRACTOR TO HAVE PLAN TABLE WITH MOST RECENTLY ISSUED DRAWINGS AND ANY SUPPLEMENTAL DRAWINGS ON SITE. TABLE SHALL BE PROTECTED FROM DAMAGE.
- ALL DIMENSIONAL LUMBER USED IN EXTERIOR APPLICATIONS SHALL BE PRESSURE TREATED ACCORDING TO AWWA STANDARDS, WITH A MINIMUM "GROUND CONTACT" USE CATEGORY (UC4A OR HIGHER) AS APPLICABLE TO THE PROJECT, AND CLEARLY MARKED WITH THE APPROPRIATE IDENTIFICATION TAG.

APPLICABLE CODES:

- INTERNATIONAL BUILDING CODE 2018 EDITION WITH GEORGIA AMENDMENTS (2020 & 2022)
- INTERNATIONAL RESIDENTIAL CODE 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FIRE CODE, 2018 EDITION (PER THE STATE FIRE MARSHAL'S OFFICE)
- INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020, 2022, & 2023)
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020 & 2022)
- NATIONAL ELECTRICAL CODE, 2020 EDITION WITH GEORGIA AMENDMENTS (2021)
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020, 2022, & 2023)
- NFPA 101 - LIFE SAFETY CODE, 2018 EDITION, WITH STATE AMENDMENTS (PER THE STATE FIRE MARSHAL'S OFFICE)
- INTERNATIONAL SWIMMING POOL & SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- GEORGIA ACCESSIBILITY CODE (PER THE STATE FIRE MARSHAL'S OFFICE)

USE OF THIS DOCUMENT:

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NOTE:

CONTRACTOR SHALL TAPE OUT LAYOUT OF CABINETRY ON FLOOR AFTER GENERAL FRAMING IS IN PLACE AND REVIEW ON SITE WITH OWNER AND KITCHEN DESIGNER PRIOR TO FABRICATION OF CABINETRY. ANY FINAL ADJUSTMENTS TO PLANS SHALL BE MADE AT THAT TIME.

SCALE OF THE DRAWING:

SCALES AS STATED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY, THE DIMENSION OF WHICH IS 24 X 36 INCHES.

INSULATION NOTES:

AREA	R-VALUE
ROOF:	R-38
CONTR TO PROVIDE R-38 ROOF INSULATION OR MAINTAIN THAT R-30 INSULATION IS: 1) FULL HEIGHT AND UNCOMPRESSED 2) INSULATION EXTENDS COMPLETELY OVER THE TOP PLATE AT THE EAVES	
CEILING:	R-30
2 x 4 WOOD FRAME WALL:	R-13
2 x 6 WOOD FRAME WALL:	R-21
ATTIC KNEEWALL:	R-18
MASS WALL:	R-5/8
FLOOR:	R-19
BASEMENT WALL:	R-5/13
SLAB:	R-0
CRAWL SPACE WALL:	R-5/13

LOT COVERAGE CALCULATION:

HOUSE:	2708.55 SQ.FT.
DRIVEWAY:	374.90 SQ.FT.
SIDEWALKS:	456.77 SQ.FT.
FENCE PIERS:	114.02 SQ.FT.
ROADS/ CURBS:	135.44 SQ.FT.
FRONT ENTRY PATH:	73.82 SQ.FT.
TOTAL:	3863.48 SQ.FT.
LOT AREA:	6000 SQ.FT.
MAXIMUM ALLOWABLE LOT COVERAGE (70%):	4200 SQ. FT.
4200 SQ.FT. > 3863.48 SQ.FT.	
64.39% LOT COVERAGE	

HEATED SPACE:

BASEMENT FLR HEATED SPACE:	0.00 SQ.FT.
FIRST FLR HEATED SPACE:	1837.01 SQ.FT.
SECOND FLR HEATED SPACE:	137.63 SQ.FT.
TOTAL HEATED SPACE:	3569.64 SQ.FT.

UNHEATED SPACE:

GARAGE SPACE:	472.92 SQ.FT.
FRONT PORCH:	624.80 SQ.FT.
AREA OF ATTIC W/ 1'-0" HEADROOM OR HIGHER X 50%:	0.00 SQ.FT.
TOTAL UNHEATED SPACE:	1097.72 SQ.FT.

NOT FOR CONSTRUCTION

DESIGN REVIEW BOARD PRESENTATION FOR:

THE RESIDENCES AT JACKSON PARK - LOT 9

193 CANTON STREET, ALPHARETTA, GA 30009

MAYFIELD CANTON DEVELOPMENT GROUP, LLC

REVISIONS	BY



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Date: 07/30/2026

Scale: AS NOTED

Drawn: SP, ST

Job: LOT 9 (HISTORICAL)

Sheet:

A-0.0
Of Sheets

JACKSON PARK - LOT 9



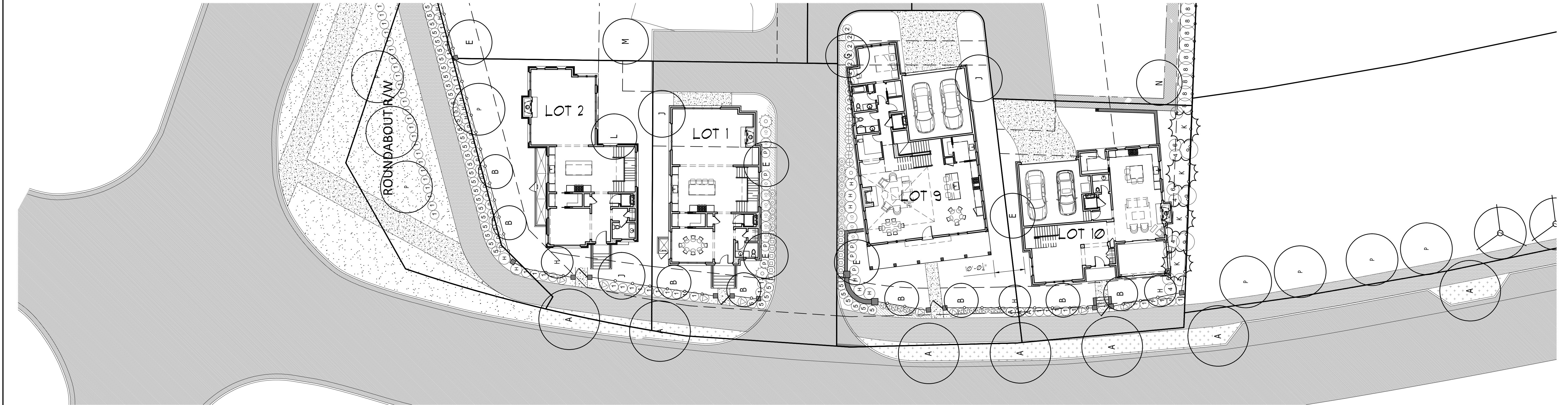
LOT 2

LOT 1

LOT 9 (HISTORICAL)

LOT 10

2 CANTON STREET ELEVATION
A-10 MAYFIELD CANTON CORNERS 1/8"=1'-0"



1 CANTON STREET SITE PLAN
A-10 MAYFIELD CANTON CORNERS 1/6"=1'-0"

NOT FOR CONSTRUCTION

REVISIONS	BY

DESIGN REVIEW BOARD PRESENTATION FOR:

THE RESIDENCES AT JACKSON PARK

193 CANTON STREET, ALPHARETTA, GA 30009

MAYFIELD CANTON DEVELOPMENT GROUP, LLC

LMA

LINDA MACARTHUR ARCHITECT

404.233.4771

810 EAST ANDREWS DRIVE NW
SUITE 7, ATLANTA, GA 30305

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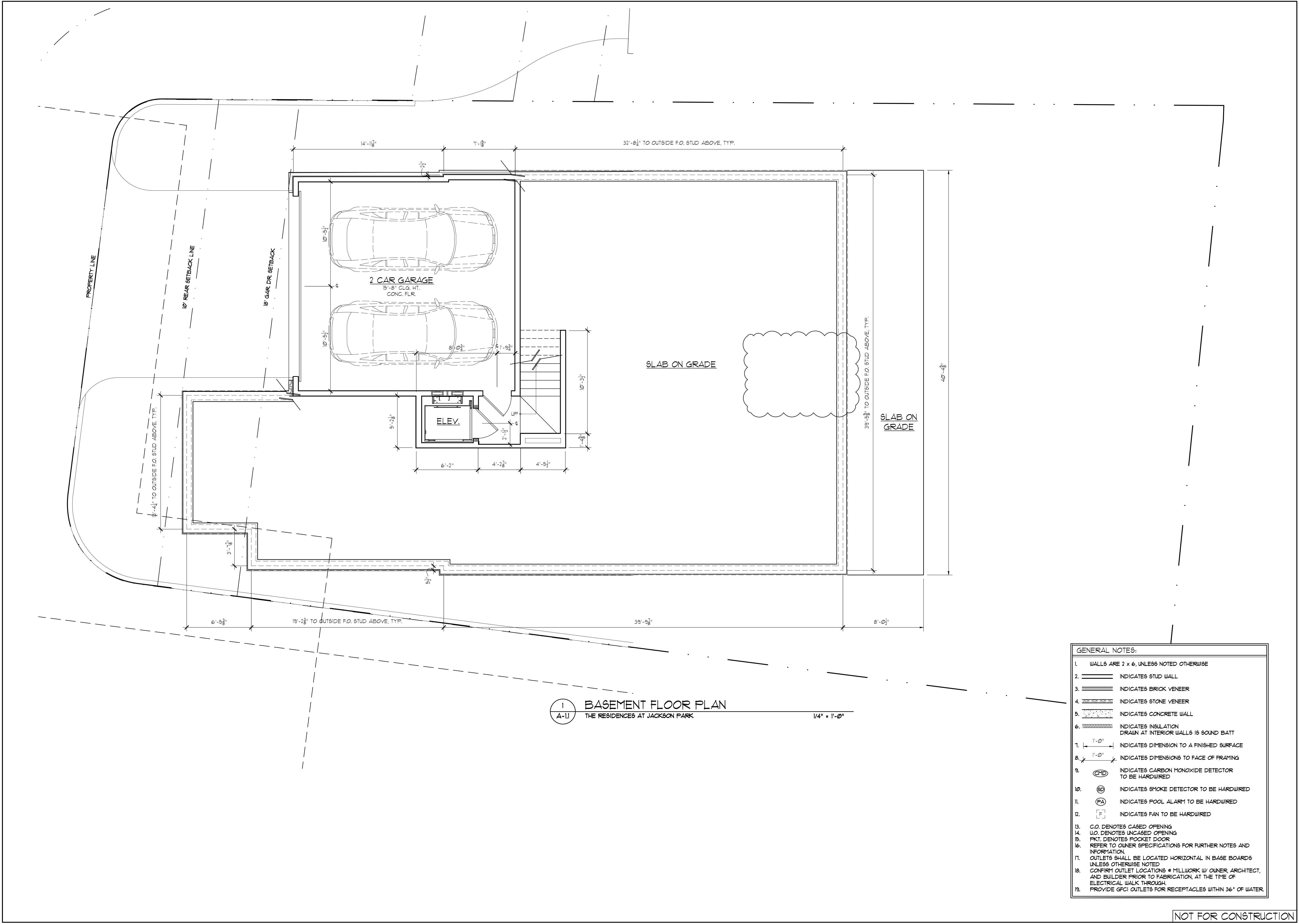
Date: 07/30/2026

Scale: AS NOTED

Drawn: JM, SP, JB ST

Job: SITE

Sheet:
A-1.0
Of Sheets



GENERAL NOTES:		
1.	WALLS ARE 2 x 6, UNLESS NOTED OTHERWISE	
2.	INDICATES STUD WALL	
3.	INDICATES BRICK VENEER	
4.	INDICATES STONE VENEER	
5.	INDICATES CONCRETE WALL	
6.	INDICATES INSULATION DRAWN AT INTERIOR WALLS IS SOUND BATT	
7.	INDICATES DIMENSION TO A FINISHED SURFACE	
8.	INDICATES DIMENSIONS TO FACE OF FRAMING	
9.	INDICATES CARBON MONOXIDE DETECTOR TO BE HARDWIRED	
10.	INDICATES SMOKE DETECTOR TO BE HARDWIRED	
11.	INDICATES POOL ALARM TO BE HARDWIRED	
12.	INDICATES FAN TO BE HARDWIRED	
13.	C.O. DENOTES CASSED OPENING	
14.	U.O. DENOTES UNCASSED OPENING	
15.	P.K.T. DENOTES POCKET DOOR	
16.	REFER TO OWNER SPECIFICATIONS FOR FURTHER NOTES AND INFORMATION.	
17.	OUTLETS SHALL BE LOCATED HORIZONTAL IN BASE BOARDS UNLESS OTHERWISE NOTED	
18.	CONFIRM OUTLET LOCATIONS • MILLWORK W/ OWNER, ARCHITECT, AND BUILDER PRIOR TO FABRICATION, AT THE TIME OF ELECTRICAL WALK THROUGH.	
19.	PROVIDE GFCI OUTLETS FOR RECEPTACLES WITHIN 36" OF WATER.	

DESIGN REVIEW BOARD PRESENTATION FOR:

THE RESIDENCES AT JACKSON PARK - LOT 9

193 CANTON STREET, ALPHARETTA, GA 30009
MAYFIELD CANTON DEVELOPMENT GROUP, LLC

LMA

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Date:

07/30/2026

Scale:

AS NOTED

Drawn:

SP, ST, JB

Job:

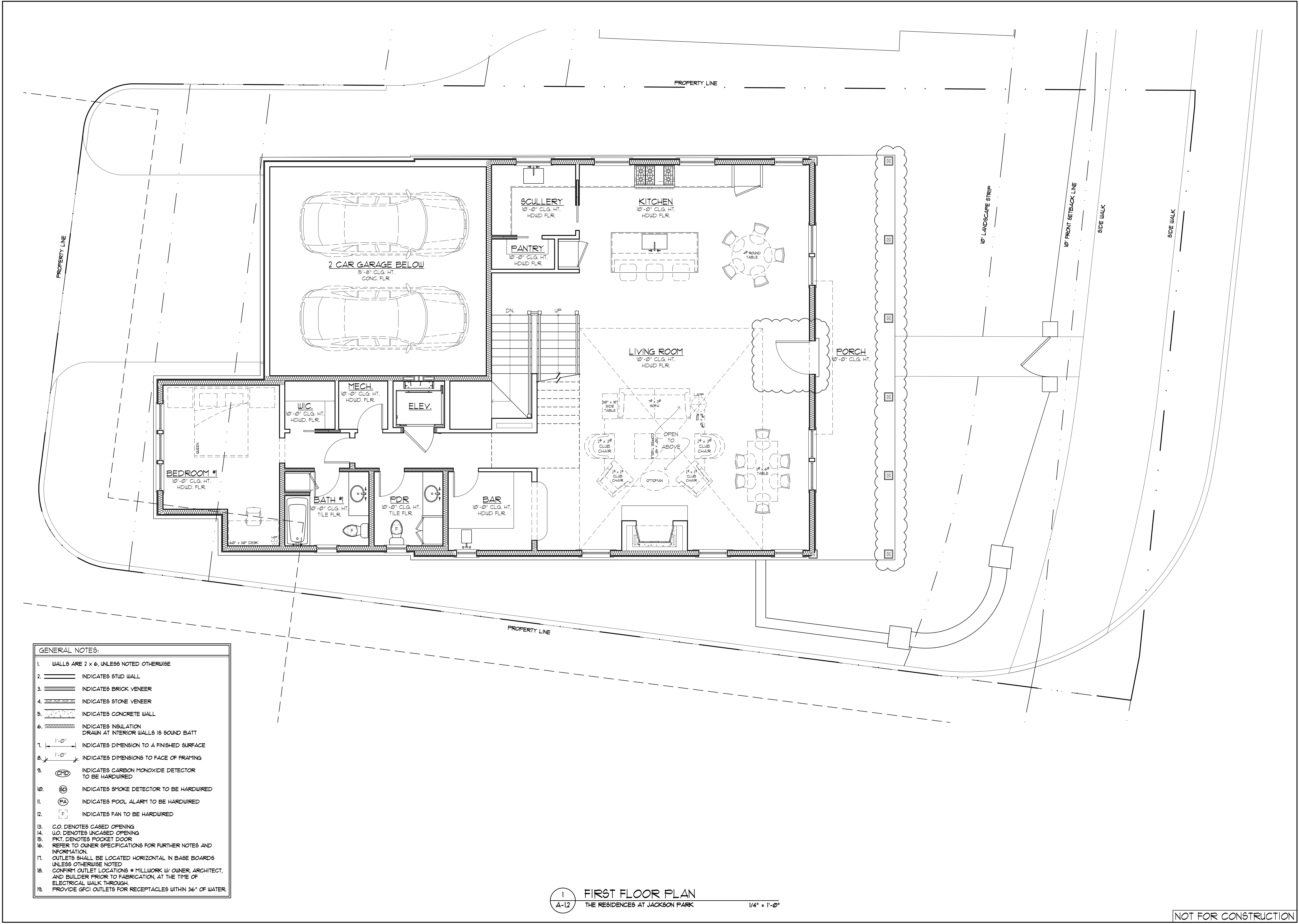
LOT 9
(HISTORICAL)

Sheet:

A-1.1
Of Sheets

JACKSON PARK - LOT 9

NOT FOR CONSTRUCTION



- GENERAL NOTES:
1. WALLS ARE 2 x 6, UNLESS NOTED OTHERWISE
 2. ——— INDICATES STUD WALL
 3. ——— INDICATES BRICK VENEER
 4. ——— INDICATES STONE VENEER
 5. ——— INDICATES CONCRETE WALL
 6. ——— INDICATES INSULATION
DRAWN AT INTERIOR WALLS IS SOUND BATT
 7. 1'-0" ——— INDICATES DIMENSION TO A FINISHED SURFACE
 8. 1'-0" ——— INDICATES DIMENSIONS TO FACE OF FRAMING
 9. (C.D.) INDICATES CARBON MONOXIDE DETECTOR TO BE HARDWIRED
 10. (S.D.) INDICATES SMOKE DETECTOR TO BE HARDWIRED
 11. (P.A.) INDICATES POOL ALARM TO BE HARDWIRED
 12. (F) INDICATES FAN TO BE HARDWIRED
 13. C.O. DENOTES CASSED OPENING
U.O. DENOTES UNCASSED OPENING
P.K.T. DENOTES POCKET DOOR
 14. REFER TO OWNER SPECIFICATIONS FOR FURTHER NOTES AND INFORMATION
 15. OUTLETS SHALL BE LOCATED HORIZONTAL IN BASE BOARDS UNLESS OTHERWISE NOTED
 16. CONFIRM OUTLET LOCATIONS w/ MILLWORK w/ OWNER, ARCHITECT, AND BUILDER PRIOR TO FABRICATION, AT THE TIME OF ELECTRICAL WALK THROUGH
 17. PROVIDE GFCI OUTLETS FOR RECEPTACLES WITHIN 36" OF WATER

1 FIRST FLOOR PLAN
A-12 THE RESIDENCES AT JACKSON PARK 1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS	BY

DESIGN REVIEW BOARD PRESENTATION FOR:
THE RESIDENCES AT JACKSON PARK - LOT 9
193 CANTON STREET, ALPHARETTA, GA 30009
MAYFIELD CANTON DEVELOPMENT GROUP, LLC

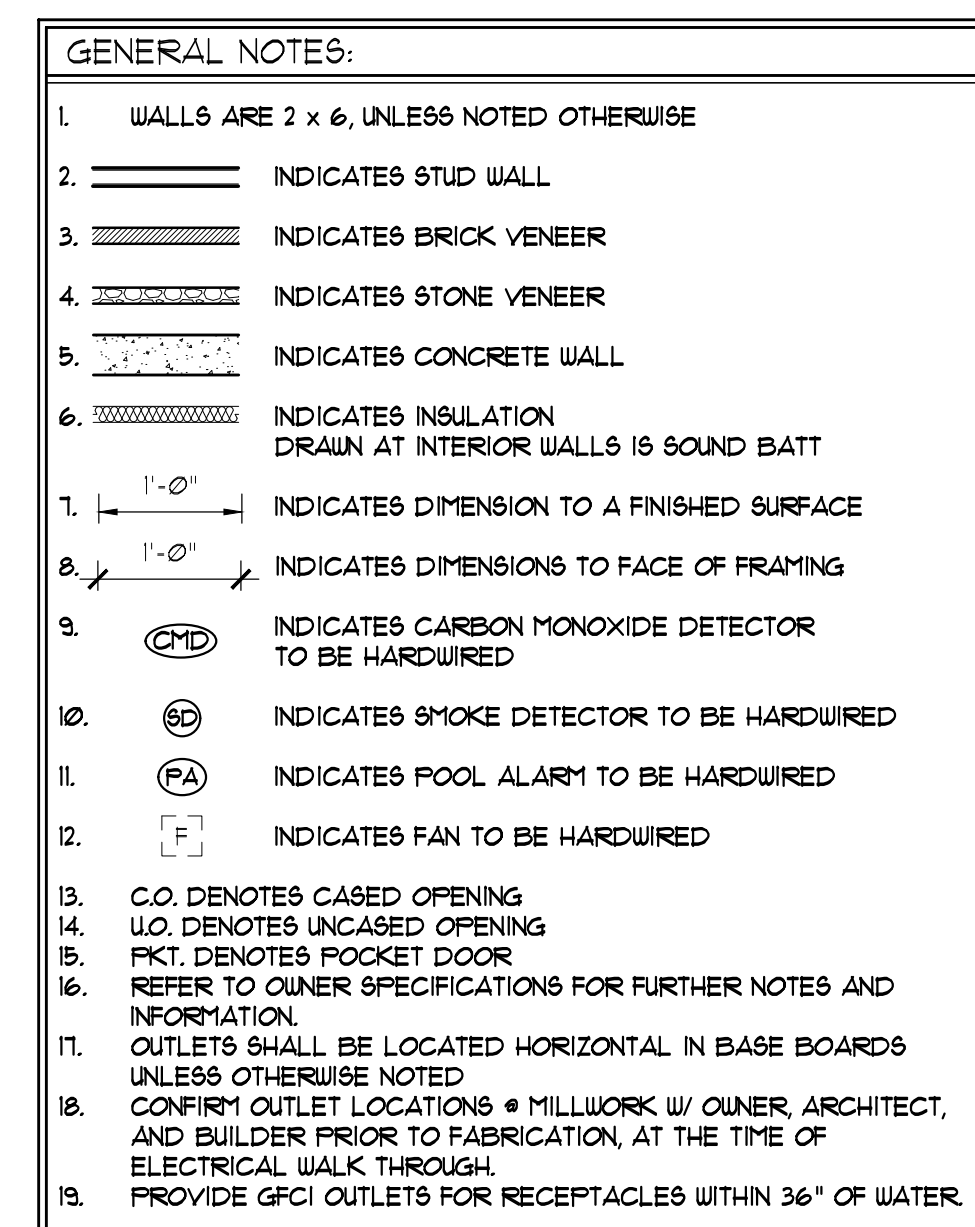
JACKSON PARK - LOT 9

LMA
LINDA MACARTHUR ARCHITECT
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80 EAST ANDREWS DRIVE NW
SUITE 7, ATLANTA, GA 30305

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Date: 07/30/2026
Scale: AS NOTED
Drawn: SP, ST
Job: LOT 9 (HISTORICAL)
Sheet: A-1.2
Of: 5 sheets



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DESIGN REVIEW BOARD PRESENTATION FOR:
THE RESIDENCES AT JACKSON PARK - LOT 9

193 CANTON STREET, ALPHARETTA, GA 30009
MAYFIELD CANTON DEVELOPMENT GROUP, LLC

JACKSON PARK - LOT 9

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x 36 inches.

Date: 07/30/2026

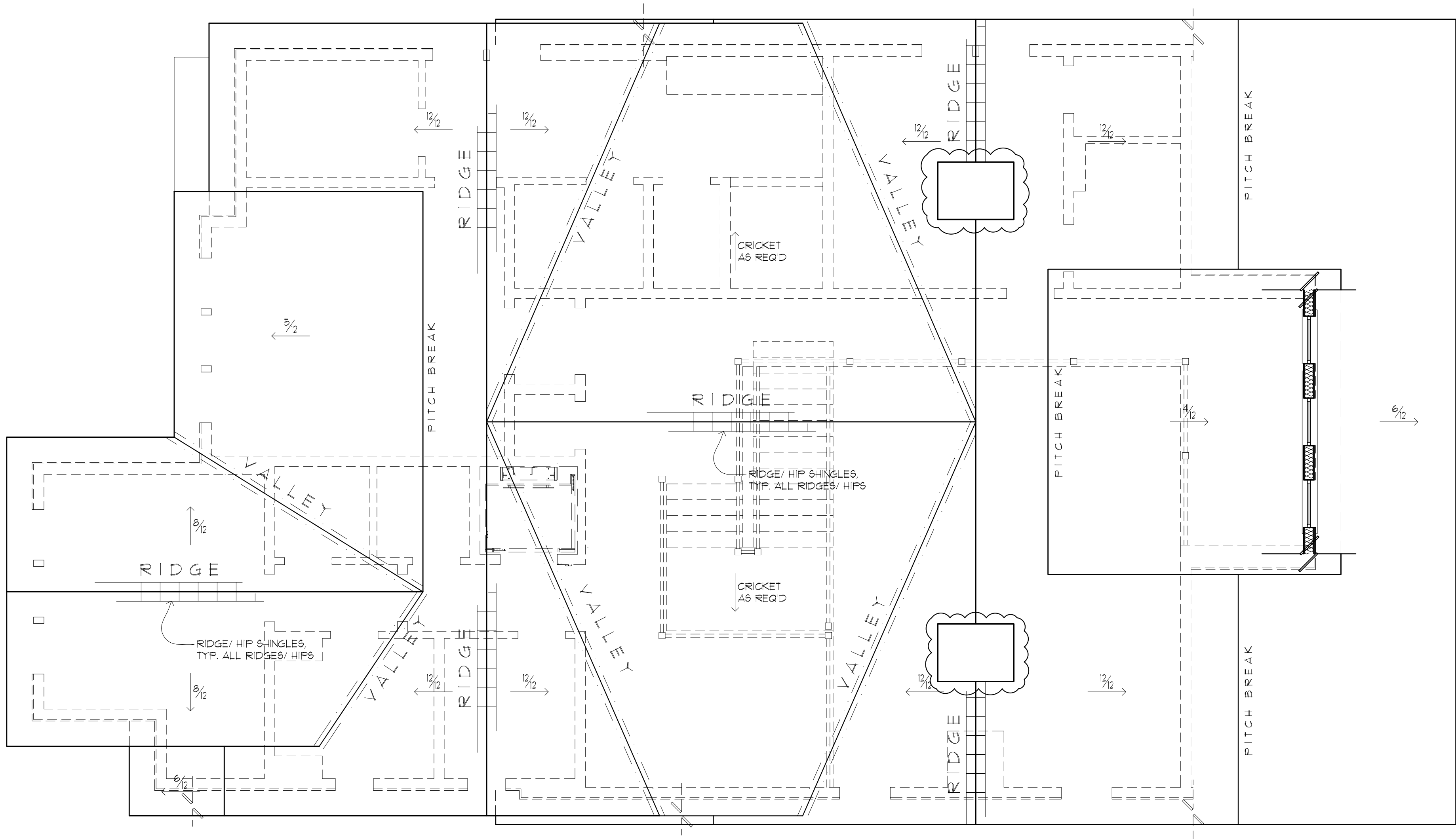
Scale: AS NOTED

Drawn: SP, ST

Job: LOT 9
HISTORICAL

Sheet:

A = 1.3
Of Sheets

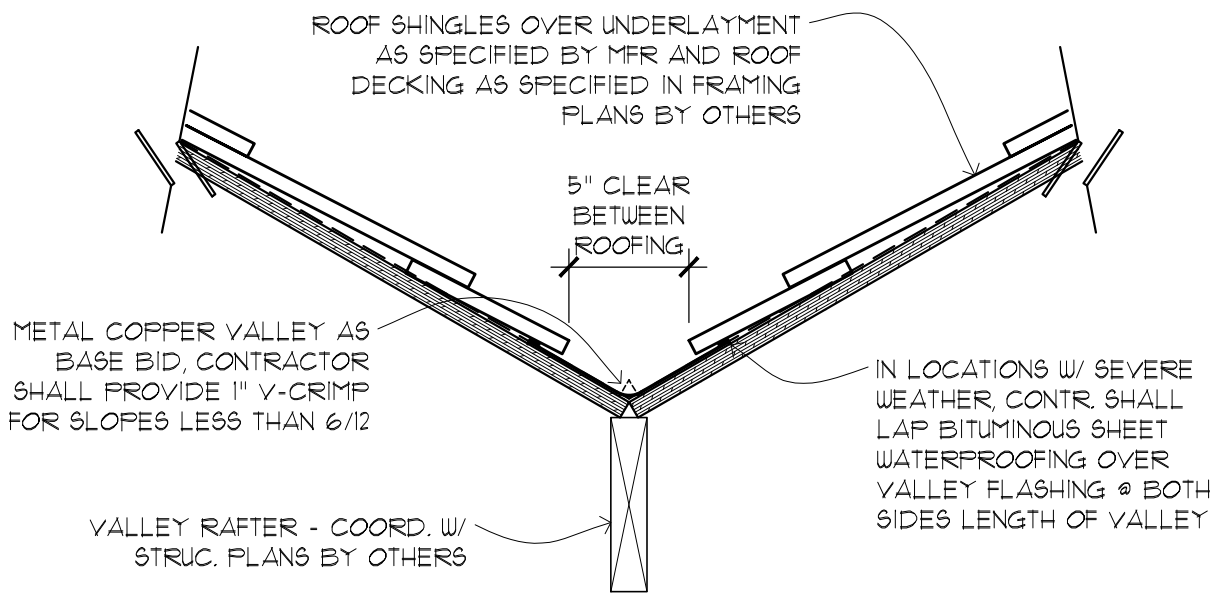


1
A-1.4
ROOF PLAN
THE RESIDENCES AT JACKSON PARK - LOT 9
1/4" = 1'-0"

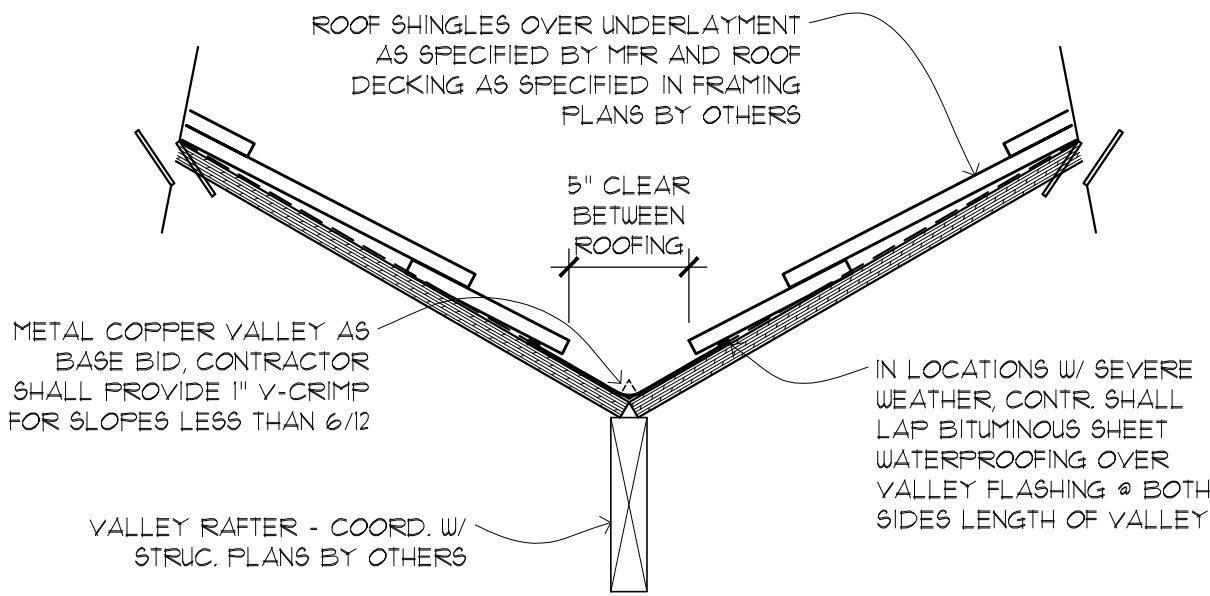
ELEVATION

SECTION

2
A-1.5
SIDEWALL FLASHING DETAIL
THE RESIDENCE
1-1/2" = 1'-0"



3
A-1.5
VALLEY FLASHING DETAIL
THE RESIDENCE
1-1/2" = 1'-0"



- ROOF NOTES:
1. PROVIDE RIDGE AND HIPPED RIDGE SHINGLES, TYPICAL.
 2. PROVIDE ROOF PRICING FOR DAVINCI ROOFING.
 3. PROVIDE 2 LAYERS 30 LB FELT UNDERLAYMENT IN AREAS LESS THAN 4/12 PITCH.
 4. PROVIDE ICYNENE AT ATTIC.
 5. PROVIDE 9" STARTER COURSE AT PERIMETER OF ROOF.

REFERENCE POINTS:

THE DIMENSIONS GIVEN ARE NOMINAL AND ARE FOR REFERENCE ONLY.

0'-0" FIRST FLOOR FINISHED FLOOR

DIMENSIONS FOR B.O. EAVE ARE GIVEN FROM FIRST FLOOR FINISHED FLOOR UNLESS OTHERWISE NOTED.

CONTRACTOR TO REFER TO EAVE DETAILS, WALL AND BUILDING SECTION(S) FOR MORE INFO.



2 EXISTING FRONT ELEVATION
THE RESIDENCES AT JACKSON PARK

1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
THE RESIDENCES AT JACKSON PARK

1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS	BY
DESIGN REVIEW BOARD PRESENTATION FOR:	
THE RESIDENCES AT JACKSON PARK - LOT 9	
193 CANTON STREET, ALPHARETTA, GA 30009	
MAYFIELD CANTON DEVELOPMENT GROUP, LLC	
JACKSON PARK - LOT 9	
LMA	
LINDA MACARTHUR ARCHITECT	
404.233.4771	
810 EAST ANDREWS DRIVE NW	
SUITE 7, ATLANTA, GA 30305	
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Date:	07/30/2026
Scale:	AS NOTED
Drawn:	SP, ST
Job:	LOT 9 (HISTORICAL)
Sheet:	A-2.0
Of	2 Sheets



2 REAR ELEVATION
A-2.1 THE RESIDENCES AT JACKSON PARK 1/4" = 1'-0"



1 FRONT ELEVATION
A-2.1 THE RESIDENCES AT JACKSON PARK 1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS		BY

DESIGN REVIEW BOARD PRESENTATION FOR:

THE RESIDENCES AT JACKSON PARK - LOT 9

193 CANTON STREET, ALPHARETTA, GA 30009

MAYFIELD CANTON DEVELOPMENT GROUP, LLC

LMA

LINDA MACARTHUR ARCHITECT

404.233.4771

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Date:

07/30/2026

Scale:

AS NOTED

Drawn:

SP, ST

Job:

LOT 9 (HISTORICAL)

Sheet:

A-2.1

Of

Sheets



1
A-22

RIGHT SIDE ELEVATION
THE RESIDENCES AT JACKSON PARK

1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS	BY

DESIGN REVIEW BOARD PRESENTATION FOR:

THE RESIDENCES AT JACKSON PARK - LOT 9

193 CANTON STREET, ALPHARETTA, GA 30009
MAYFIELD CANTON DEVELOPMENT GROUP, LLC

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Date: 07/30/2026
Scale: AS NOTED
Drawn: SP, ST
Job: LOT 9 (HISTORICAL)
Sheet: **A-22** Of Sheets

JACKSON PARK - LOT 9



1
A-23

LEFT SIDE ELEVATION
THE RESIDENCES AT JACKSON PARK

1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS	BY

DESIGN REVIEW BOARD PRESENTATION FOR:

THE RESIDENCES AT JACKSON PARK - LOT 9

193 CANTON STREET, ALPHARETTA, GA 30009
MAYFIELD CANTON DEVELOPMENT GROUP, LLC

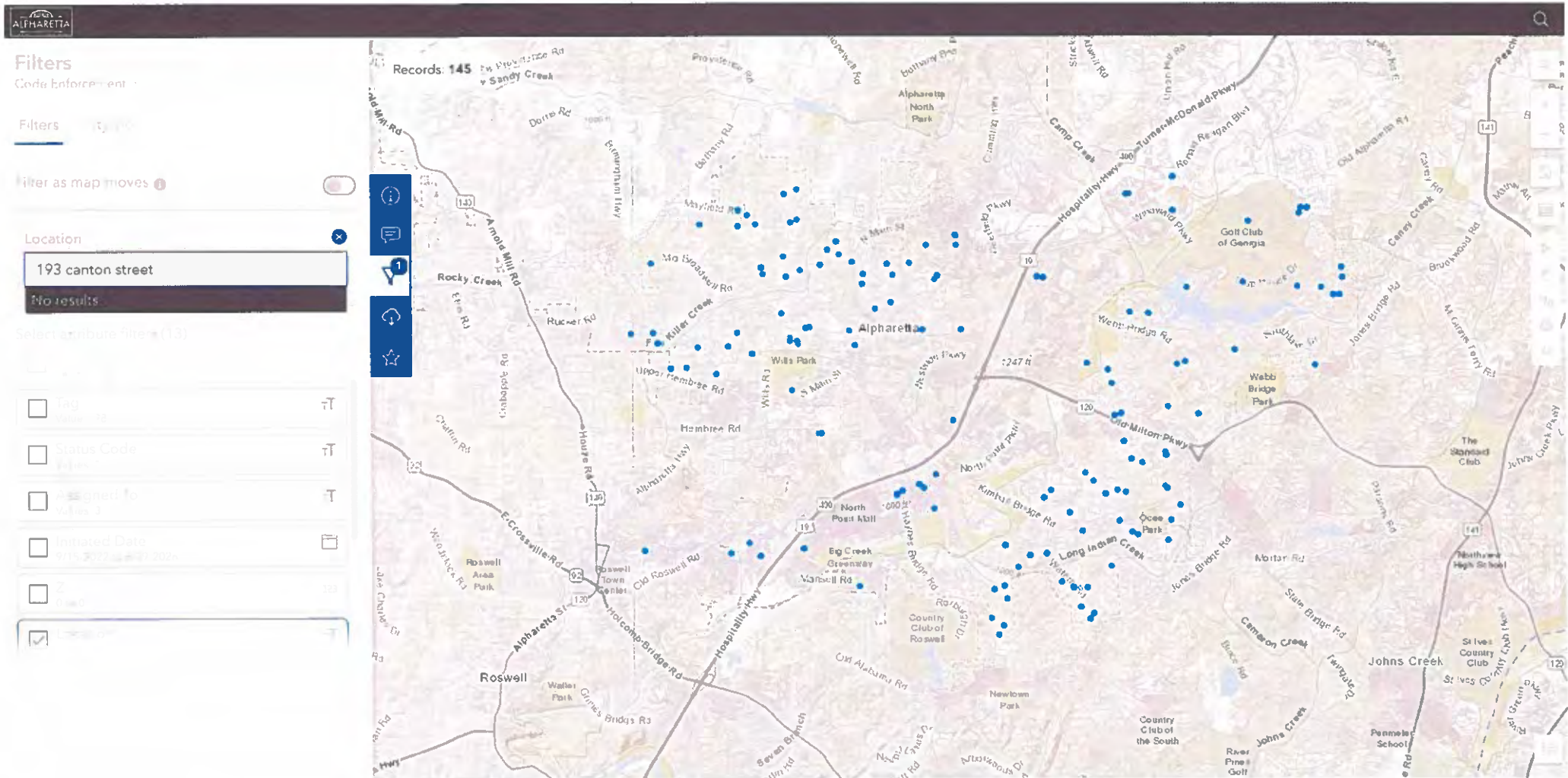
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Date: 07/30/2026
Scale: AS NOTED
Drawn: SP, ST
Job: LOT 9 (HISTORICAL)
Sheet: A-2.3
Of Sheets

JACKSON PARK - LOT 9



[Property Taxes](#) / Summary / 22 482212520161


Arthur E. Ferdinand
Tax Commissioner
Fulton County, Georgia

Tax Bill

141 Pryor Street
Atlanta, Georgia 30303
[404.613.6100](tel:404.613.6100)

Property Owner	Parcel Identification	Description	User ID
MAYFIELD CANTON DEVELOPMENT GROUP LLC	22 482212520161	Real Estate	IWR
Tax District: 10 - ALPHARETTA			

Property Address	Account Number	Current Fair Market Value	Current Assessed Value
193 CANTON STREET	2474033	1,123,600	449,440

City Exemption:

County Exemption:

City Sales Tax Credit: \$0.00

County Sales Tax Credit: \$104.72

Tax Year	Cycle	Principal Amount	Interest	Penalties/Fees	Paid	Total	Due Date
2025	County	FIFA TRANSFERRED/SOLD	463.31	5.00	12,207.24	0.00	11/15/2025
2024	County		9,338.42	0.00	0.00	9,338.42	11/15/2024
2023	County		9,363.44	0.00	0.00	9,363.44	11/15/2023
2022	County		9,406.34	0.00	0.00	9,406.34	11/15/2022
2021	County	FIFA TRANSFERRED/SOLD	268.89	5.00	7,475.28	0.00	11/15/2021
2020	County	FIFA TRANSFERRED/SOLD	295.27	5.00	8,098.71	0.00	11/15/2020
2019	County	FIFA TRANSFERRED/SOLD	167.02	187.84	4,011.73	0.00	10/15/2019

Grand Total Due: \$0.00

Mailing Address

MAYFIELD CANTON DEVELOPMENT GROUP LLC
285 W WIEUCA RD
ATLANTA GA 30342

Property owners with current legal matters, such as bankruptcy or foreclosure, must contact the Tax Commissioner's office at [404.613.6100](tel:404.613.6100) for the official balance due on their parcel(s).

[Sign up For E-Billing](#)