



BOARD OF ZONING APPEALS JANUARY 21, 2016

ALPHARETTA CITY HALL
COUNCIL CHAMBERS
2 PARK PLAZA
5:30 PM

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. ELECTION OF CHAIRMAN AND VICE-CHAIRMAN**
- IV. APPROVAL OF MEETING MINUTES**
 - A. Meeting Minutes of October 15, 2015**
- V. ITEMS FROM BOARD MEMBERS**
- VI. ITEMS FROM STAFF**
- VII. PUBLIC HEARING**
 - A. V-15-31 Poole/6390 Spinnaker Lane**
- VIII. ADJOURNMENT**



BOARD OF ZONING APPEALS MEETING SUMMARY OF OCTOBER 15, 2015

ALPHARETTA CITY HALL
COUNCIL CHAMBERS
2 PARK PLAZA
5:30 PM

PREPARED BY: ELLE TAYLOR
BOARDS ASSISTANT, COMMUNITY DEVELOPMENT

I. CALL TO ORDER

II. ROLL CALL

Board Members Present:

- Mike Webber, Chairman
- George Fischer, Vice Chairman
- Hans Appen
- John Monson
- Eamon Keegan
- Marc Gelber
- Wes Williams

Board Members Absent:

- Wes Williams
- Bing Seitz

Staff Present:

- Kathi Cook, Director of Community Development
- Richard McLeod, Senior Planner
- Elle Taylor, Boards Assistant

III. APPROVAL OF September 17, 2015 MINUTES

❖ Board Member Fischer offered a motion to approve the Minutes from

September 17, 2015

- The motion received a second from Board Member Monson
- The motion was approved by a vote (7-0)

IV. ITEMS FROM BOARD MEMBERS

V. ITEMS FROM STAFF

VI. PUBLIC HEARING

A. V-15-23 Bonem Inc./255 Clipper Bay Drive

Kathi Cook, Director of Community Development, presented.

The applicant is requesting approval of a side setback variance. The subject site is Lot 32 located within the Clipper Bay development at Windward at 255 Clipper Bay Drive. The applicant, J.M. Bonem Inc, is requesting a variance from the side yard setback requirement of 10' to allow for a 6.44' setback for a home that has been constructed. The requested variance will allow the currently under constructed home to remain at its current location.

The Unified Development Code requires that no structures are permitted within the setback area. The required side setback for Clipper Bay is 10'. The applicant is seeking the variance for Lot 32 because the home was staked from a survey that had incorrect information. The survey was misaligned on the rear west edge by about 5 feet.

A fire destroyed the house in 2014 and the home is being replaced with a bigger floor plan. When the house was under construction, the neighbors thought that the house appeared to encroach on the setback on the western side. After research, it was determined that the survey was incorrect on the northwest corner and new survey was performed.

Other variances for setbacks on Windward have been approved for various reasons. There was a variance for Ardsley Park for the side setback from 10' to 9' for a house that was already built. The variance was in 2006. The reason was discrepancies with the survey pins.

A variance to reduce a rear setback from 15 feet to 6 feet for the construction of a deck was approved in 2009. A variance for property on Harbor Ridge allowed a reduction from 30 feet to 18 feet, 12 feet. The home had been standing for 25 years and the variance was granted in 2014.

The Board of Zoning Appeals granted a variance in 2001 on Harbor Cove Court for a home that had illegally built a sunroom without a permit. The deck was built in 1989 and the sunroom was built in 1999. The variance was granted for 9 feet from 25 feet to 16 feet.

The subject property has planted a row of magnolias mixed in with some Leland cypress before the original house burned. They are between 8 and 10 feet tall. There is only one window facing the neighbors which is on the second floor. The ground floor is a garage and has no windows facing the neighbors.

The applicant has met with the immediate neighbors and discussed the need for a variance. The comment from one of the neighbors is attached and the neighbor is not in support of the variance.

The City of Alpharetta Unified Development Code Article IV, Section 4.5.3 outlines the criteria set forth for granting a hardship variance. The ordinance specifically states..."a variance may be granted in whole or in part, or with conditions, in such individual case of unnecessary hardship upon a finding that":

- (1) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography; or

There are not conditions pertaining to this lot due to size, shape or topography, the request appears to be the result of a surveying discrepancy.

- (3) The application of the Ordinance to this particular piece of property would create an unnecessary hardship; or

If denied the applicant would be required to move the home already constructed with framing a total of 3.6 feet.

- (4) There are conditions that are peculiar to the property which adversely affect its reasonable use or usability as currently zoned.

Not applicable.

- (5) Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of the City of Alpharetta ordinances,

The applicant spoke with the neighbors to try and get support of a 6.44' side setback variance. One chose not to respond. It is Staff's opinion that approval would not cause a detriment to the public good or impair the purpose and intent of the City of Alpharetta ordinances. However, the applicant should work with the neighbor to minimize impacts by maintaining evergreen screen.

Staff has reviewed the applicant's request and is in support of the side setback variance on the western boundary with the condition that the evergreen trees remain. The applicant built the home at its current location based on survey information that was incorrect and encroachment is limited to a triangular 15 sf ft. portion of the home. However, the adjacent homeowner is not in support of the request and the evergreen buffer should be maintained and enhanced.

Staff's recommendation was to approve V-15-23 Bonem Inc. /255 Clipper Bay Drive request for a side setback variance with the following condition:

- 1. Side setback along western property line shall be reduced to 6.44' for existing encroachment.**
- 2. Existing evergreens planted along property line shall be maintained in good condition. Additional evergreens shall be added along the entire property line where scarce with final approval by Staff.**

Jim Bonem, Applicant presented case of construction of home after fire and scenario of different surveys being used.

Larry Musgrove, Solar Land Survey Company addressed poor quality of survey on Secretary of State website vs. plat in order to explain error in original survey.

There was discussion from the Board concerning:

- Room above the garage
- Sq. Footage of home

Jenny Chou, next door neighbor, discussed:

1. Learning what happened, ways to prevent it from happening in the future.
2. Don't just explain away the violation
3. Obtain more screening between the two houses
4. Communication with builder has not led to a mutually agreed upon solution

Chairman Webber opened the floor to Public Comment at 12:40 p.m.

1. Chris Palmer, Windward HOA discussed:

- Concern over precedence with encroaching in the setbacks
- Applicant has not come back to the HOA to offer additional Landscape/Screening

After discussion:

❖ Board Member Monson offered a motion to approve application with the following conditions:

- 1) Side setback along western property line shall be reduced to 6.44' for existing encroachment and nothing more.
- 2) Existing evergreens planted along property line shall be maintained in good condition by the resident of 255 Clipper Bay. Additional evergreens shall be added along the entire property line where scarce with final approval by Staff Landscaping.
- 3) The 2nd floor window over the garage, facing the Chou residence, shall be made of an opaque material to be decided by the builder and the homeowner.
- 4) Final Landscaping Plan shall be subject to the Windward HOA landscape approval with Ms. Chou having reviewed it not approved with the Windward HOA prior to their vote.

The motion received a second from Board Member Fischer

❖ Board Member Williams offered a friendly amendment "windows shall be made of an material or a material placed on the glass of an opaque material"

- Board Member Monson accepted the friendly amendment
- The motion with the friendly amendment was approved by a vote (7-0)

There was discussion on rationale behind having Ms. Chou review but not approve the recommendation.

After the vote, the Applicant discussed the problem that Windward HOA has authority to disapprove the decision made by the HOA.

VII. ADJOURNMENT

Chairman Webber adjourned the meeting at 6:24 p.m.

BOARD OF APPEALS REPORT

FROM: Kathi Cook, Community Development Director
Prepared by: Richard McLeod, Senior Planner

SUBJECT: V-15-31 Poole/Spinnaker Ln/Windward

DATE: January 21, 2016

Approve V-15-31 Poole/Spinnaker Ln/Windward request for a variance from the rear setback and the lakeshore easement in order to construct a deck.

- 1. Encroachment shall be limited to submitted plans.**
- 2. Applicant shall meet conditions of Windward HOA.**

REPORT-IN-BRIEF

The subject property is located at 6390 Spinnaker Lane in the Windward neighborhood of Spinnaker. The applicant is requesting consideration of a variance to the rear setback of 15' and to the 10' lakeshore easement area. The applicant intends to rebuild an existing deck, and the variances would allow the upper and lower decks to be constructed so that they align.

DISCUSSION

The Unified Development Code requires that no structures are permitted within the 15' rear setback area. There is also a 10' lakeshore easement area that surrounds Lake Windward. The lakeshore easement is not part of the state mandated stream buffer as the lake in this portion has a wall built around it.

The applicant, Robert Poole, is requesting to rebuild his deck which is over 20 years old. The deck is of split-level design, with the upper level extending 10' from the rear building wall while the lower level extends only 6' from the rear wall. Stairs extend from the lower deck to the ground and lead to a private dock.

The applicant requests the variance to remove an existing retaining wall and extend the lower portion of the deck to align with the upper deck. The upper portion of the deck will be built to the same footprint that exists today. The extended footprint of the lower deck, however, would encroach 5.8' into the 15-foot rear setback and 6 inches into the 10-foot lakeshore easement. There by leaving 9.4' of the 15' setback in place on the southern corner piece.

There are no trees in the way of the expansion.

The adjacent property owners most affected by the rear setback encroachment have been notified and have responded favorably in writing. The applicants have also included a letter from Windward Community Services Association, Inc. stating the deck can be approved once they receive approval from the City of Alpharetta.

VARIANCE REQUIREMENTS

The City of Alpharetta Unified Development Code Article IV, Section 4.5.3 outlines the criteria set forth for granting a hardship variance. The ordinance specifically states..."a variance may be granted in whole or in part, or with conditions, in such individual case of unnecessary hardship upon a finding that":

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography; or

The applicant is requesting the variance for an existing house and deck encroachment to rebuild the deck. The existing encroachment has existed since around 1988 without issue and should remain.

2. The application of the Ordinance to this particular piece of property would create an unnecessary hardship; or

If denied, the applicant would be required to remove a portion of the existing deck which would be a hardship since the deck and encroachment have existed since sometime around 1988. To conform to the setback and easement, the deck would have to be only 4' wide instead of the 10' that it is today.

3. There are conditions that are peculiar to the property which adversely affect its reasonable use or usability as currently zoned.

The 10' lakeshore easement is not a legal state waters buffer since there is a wall that surrounds Lake Windward.

4. Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of the City of Alpharetta ordinances,

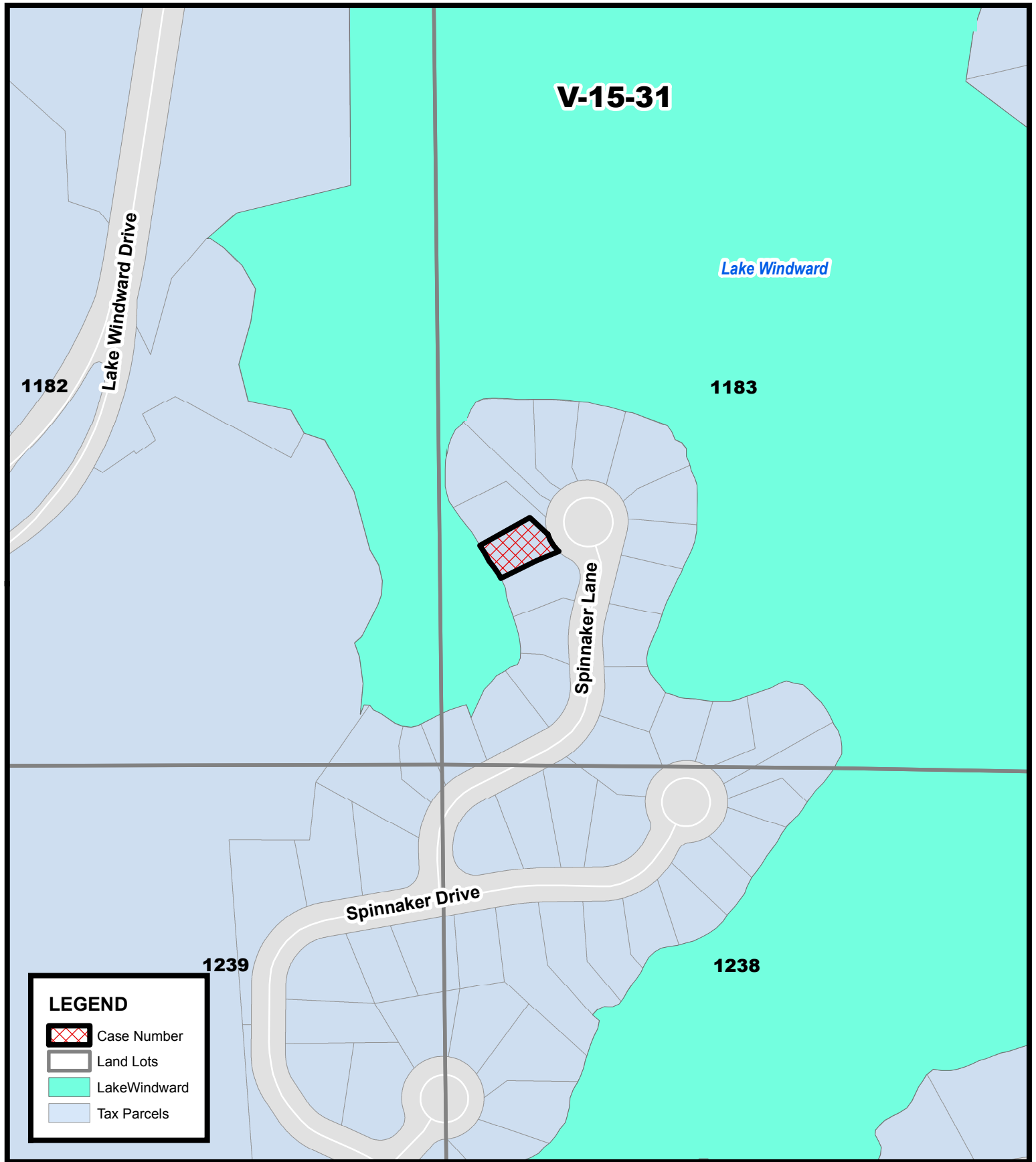
The existing deck and encroachment has existed since around 1988 without issue.

CONCURRENCES

Staff has reviewed the application and is in general agreement with the request.

CITIZEN PARTICIPATION PLAN

The applicant notified surrounding property owners of their request for the variances and intent for the property. The applicant submitted the request to the Windward Community Services Association and the Spinnaker's HOA and was approved by each of them. The report states that no comments were received.



V-15-31

Lake Windward

1182

1183

Spinnaker Lane

Spinnaker Drive

1239

1238

LEGEND



Case Number



Land Lots



LakeWindward



Tax Parcels



Location Map
Poole
6390 Spinnaker Lane

Case: V-15-31
D/LL: 2/1/1183
BZA Date: 1/21/16

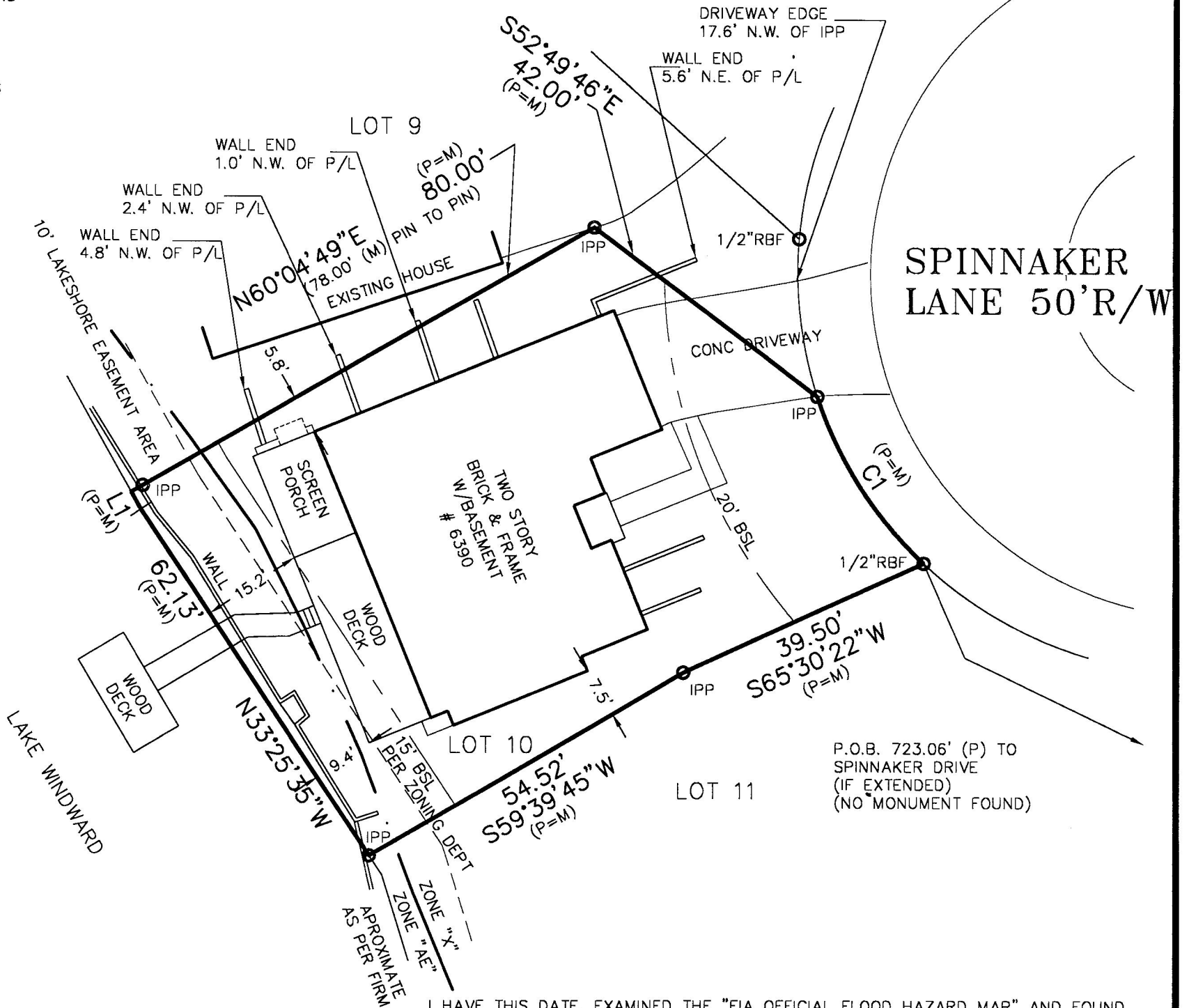
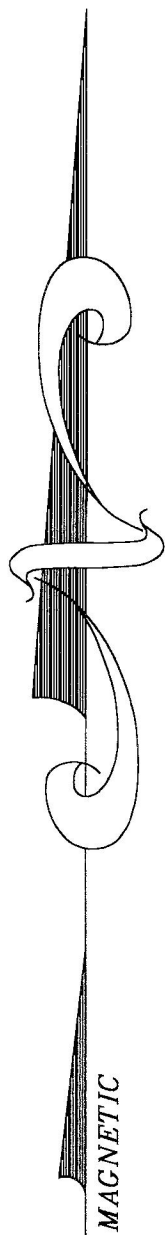
Location Map Provided by:
Community Development - GIS

LEGEND

CMP CORRUGATED METAL PIPE
DE DRAINAGE EASEMENT
SSE SANITARY SEWER EASEMENT
BSL BUILDING SETBACK LINE
RBF REBAR FOUND
IPP IRON PIN PLACED
IPF IRON PIN FOUND
OTF OPEN TOP FOUND
CTF CRIMP TOP FOUND
RB REBAR
CB CATCH BASIN
JB JUNCTION BOX
HW HEAD WALL
POB POINT OF BEGINNING
MH MAN HOLE
R/W RIGHT-OF-WAY
PP POWER POLE
LL LAND LOT
M MEASURED
D DEED
P PLAT

LINE TABLE		
LINE	LENGTH	BEARING
L1	3.00	N29°04'02"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	30.00	60.00	29.69	S32°20'20"E



AREA
5,857 sq.ft.
0.13 acres

I HAVE THIS DATE, EXAMINED THE "FIA OFFICIAL FLOOD HAZARD MAP" AND FOUND REFERENCED PARCEL IS IN AN AREA HAVING SPECIAL FLOOD HAZARDS.
MAP ID 13121C0078 F ZONE"AE"/ZONE"X" EFFECTIVE DATE : SEPTEMBER 18, 2013

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

PLAT CERTIFICATION NOTICE

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS,

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF THE LAW OF THE STATE OF GEORGIA.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67. AUTHORITY O.C.G.A. SECS. 15-6-67, 43-15-6, 43-15-19, 43-15-22.

NOTICE: IF RECORDING IS REQUIRED, CONTACT THE SURVEYOR FOR PRODUCTION OF A PLAT MADE SUITABLE FOR RECORDING

NOTE: ALL EASEMENTS DEPICTED ARE PER PUBLIC RECORD, UNLESS OTHERWISE NOTED.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OF SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 10,000 FEET, AN ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. AN ELECTRONIC TOTAL STATION WAS USED TO GATHER THE INFORMATION USED IN PREPARATION OF THIS PLAT.

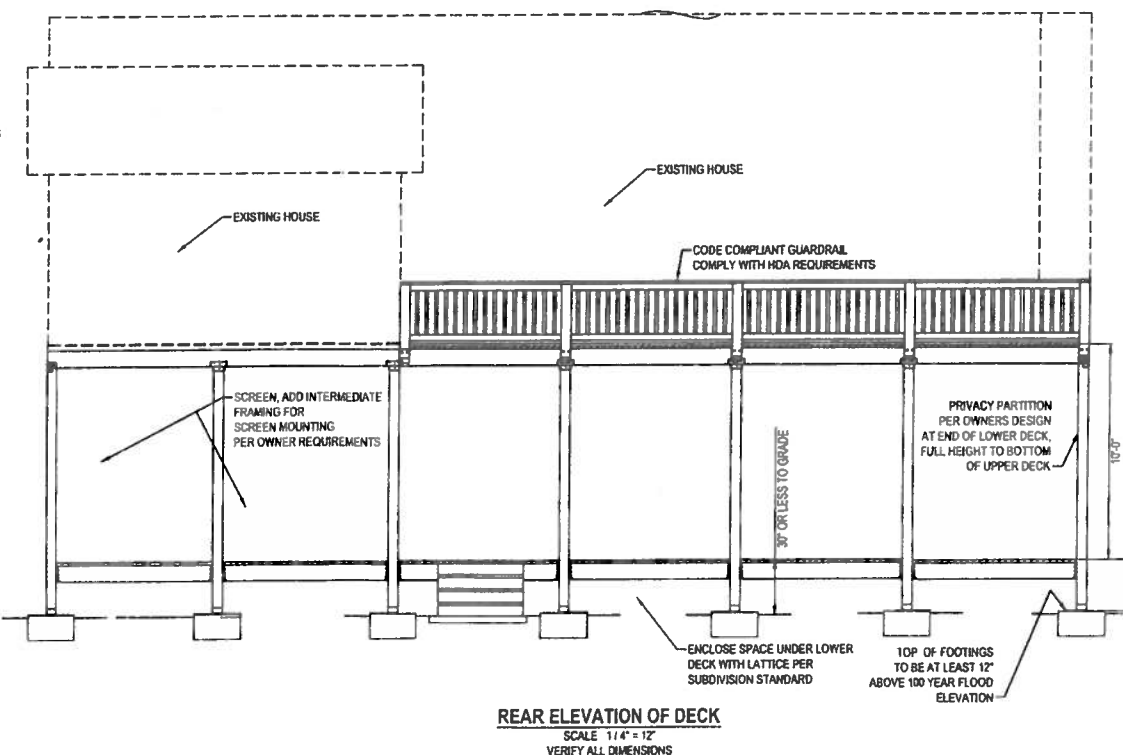
REVISED ADDED REAR 15' BSL PER ZONING DEPT FIELD DATE 05/01/15

JOB NUMBER: 15-01627



PLAT BOOK 148, PAGE 37
DEED BOOK, PAGE

ABOVE THE GROUND AS BUILT SURVEY PREPARED FOR: ROBERT POOLE		DATE 05/06/15
OWNER / PURCHASER ROBERT POOLE		SCALE 1" = 20'
LAND LOT 1183	1st DISTRICT	2nd SECTION
FULTON COUNTY, GEORGIA		
LOT 10	BLOCK B	UNIT
AREA OF LOT: 5,857 S.F.		
SUBDIVISION THE SPINNAKERS		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		SOLAR LAND SURVEYING COMPANY P.O. BOX 723993 ATLANTA, GEORGIA 31139-0993 TELEPHONE (770) 794-9055 FAX (770) 794-9052





27APR2015

PROJECT

POOLE
RESIDENCE6390
SPINNAKER
LANEALPHARETTA
GADECK
STRUCTURAL
NOTES

REVISIONS

01 RELEASED FOR
CLIENT APPROVAL
27APR2015

SHEET

02

APPLICABLE BUILDING CODES

Current Codes as Adopted by DCA - Mandatory Codes:

International Building Code, 2012 Edition, with Georgia Amendments (2014, 2015)

International Residential Code, 2012 Edition, with Georgia Amendments (2014, 2015)

International Fire Code, 2012 Edition, with Georgia Amendments (2014, 2015)

International Plumbing Code, 2012 Edition, with Georgia Amendments (2014, 2015)

International Mechanical Code, 2012 Edition, with Georgia Amendments (2014, 2015)

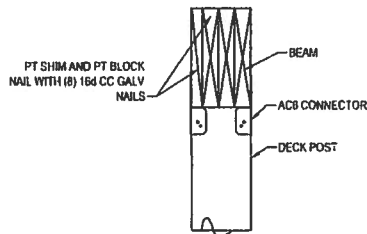
International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2014, 2015)

National Electrical Code, 2014 Edition

International Energy Conservation Code, 2009 Edition, with Georgia Supplements and
Amendments (2011, 2012)

Design Loads

Item	Dead Load (psf)	Live Load (psf)	Snow Load (psf)	
Deck Floor	10	40		
Wind Speed	90 mph 3 sec gust	Group I	Wind Importance Factor 1	Wind Exposure B
Seismic Use Group I	SDS 0.4	SDI 0.18	Site Class: D	Seismic Category B
Analysis Procedure 1817.5	Base Shear			
Snow Load 5 psf	Ce 1.1	Importance Factor 1	Pf 6.3 psf	



DETAIL

01
02
DECK POST TO PORCH POST CONNECTION

Deck and Porch Notes

Review all notes, plans and details prior to construction.

1. All material Pressure Treated No. 2 SYP unless noted otherwise.
2. All beams are to be pressure treated material when exposed to weather.
3. All nailing is to conform to applicable codes.
4. Pressure Treated lumber that is cut in the field is to have a preservative coating placed on the cut.
5. Only ground contact rated lumber is to be in contact with earth, water or stone.
6. Joist hangers are to be used for joist to beam connections unless specified otherwise. Bonds or ledges are not allowed.
7. All metal connectors are Simpson Strong Tie or equal.
8. Joist hangers are to be used for joist to beam connections unless specified otherwise. Bonds or ledges are not allowed.
9. Manufacturer's installation instructions are to be followed for all connectors and wood products.
10. Galvanized bolts and nails are to be used when they are exposed to weather.
11. For connections against pressure treated lumber use Simpson ZDC/HDG connectors and fasteners galvanized per ASTM A153. All connectors such as nails, screws are to be coated to resist corrosion from pressure treated lumber.
12. Posts are to have metal base plates and column caps. Beams and bands may be bolted to the posts with a minimum of two 1/2" galvanized bolts.
13. Manufacturer's installation instructions are to be followed for all connectors and wood products.
14. Galvanized bolts and nails are to be used when they are exposed to weather.
15. Guards and handrails for decks shall comply with the local applicable codes.
16. A code compliant handrail is to be installed on all porch and deck stairs.
17. All deck construction is to comply with applicable codes or State of Georgia Prescriptive Deck Detail whichever is the most stringent.
18. Install metal flashing between the exterior of the house and the deck band.
19. All deck bands are to be bolted a minimum of 12 inches on center with 1/2 inch diameter bolts. The bolts are to attach to the house structure with solid blocking, a minimum of 4" thick. The blocking is to be attached to the structure with a minimum of four 16d CC nails at each end. A washer is to be used at the head of the bolt and between the wood and nut.
20. A minimum of two joists are to be located under each wall that is parallel with the joists or for the outside bands.
21. A post shall be installed under all point loads and beams. The posts shall be a minimum of one stud for each ply of the beam or equal to the width of the beam.
22. Diagonal bracing is to be used in each direction on the bottom of the floor joists. The brace is to be a PT 2x6 No. 2 SYP nailed at each joist. The bracing will form an "X" on the bottom of the joists.
23. Deck footings are to be a minimum of 12" below grade and 4" above grade. The footings are to rest on residual soil or tested compacted soil.
24. 3,000 psi concrete is to be used for the footings.
25. Stair stringers are to have joist hangers at the bands.

General Notes

Review all notes and drawings prior to commencement of construction.

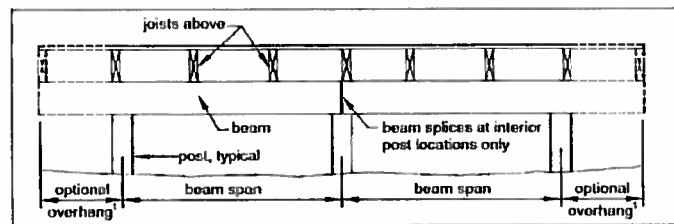
1. All construction shall be in a workmanship like manner and conform both to the listed codes and industry standards.
2. If conditions differ from what is shown on the drawings, contact the engineer before proceeding with work.
3. Do not scale drawings. If a written dimension is not on the drawings contact the engineer or architect.
4. It is the contractor's responsibility to review all drawings and documents prior to the commencement of work or purchase of materials and components.
5. Requests for information (RFI) must be made in writing. Allow 48 hours for a written response.
6. Requests for inspections must be made in writing. Schedule all inspections a minimum of 48 hours before the inspection is needed.
7. The following inspections by Construction Consulting Services, Inc. are required. Failure to have these inspections performed relieves Construction Consulting Services of any responsibility for the construction.
 - 7.1. Footings.
 - 7.2. Decks.
 - 7.3. Building Final.
8. Failure to follow the requirements of the drawings and specifications relieves Construction Consulting Services, Inc., its employees and the Professional Engineer of any responsibility for design, construction and performance.
9. Construction Consulting Services, Inc. or its employees is not responsible for geotechnical conditions, drainage, hydrological conditions, other engineers or designers scope, contractors adherence to the design drawings or construction quality.
10. Read all notes and review all plans, details, etc. prior to construction.
11. The interpretation made by the Contractor of these drawings is not the responsibility or liability of Construction Consulting Services, Inc.
12. The contractor is to adhere to all applicable life safety, manufacturer's specifications and instructions, building codes and other industry standards. Safety of the job site is the sole responsibility of the contractor.
13. Failure to follow the building codes relieves Construction Consulting Services, Inc. of construction responsibility.

EPOXIED REBAR AND ANCHOR BOLTS

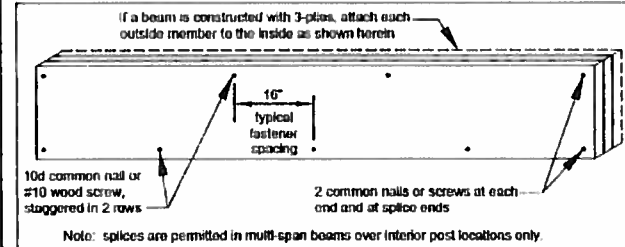
REBAR	HOLE SIZE (INCHES) DIAMETER X DEPTH	TEST LOAD (POUNDS)
#4	0.625 X 7	5300
#5	0.75 X 9	9600
#6	0.875 X 11	15000
#7	1.125 X 16	21000
#8	1.375 X 18	38000
ANCHOR BOLT DIAMETER		
3/8	0.5 X 5	2200
1/2	0.625 X 6	4000
5/8	0.75 X 8	6400
3/4	0.875 X 8	9400
7/8	1.0 X 11	13000
1	1.125 X 14	17000
1 1/4	1.375 X 15	27000
1 1/2	1.625 X 19	39000

EPOXIED REBAR AND ANCHOR BOLT NOTES

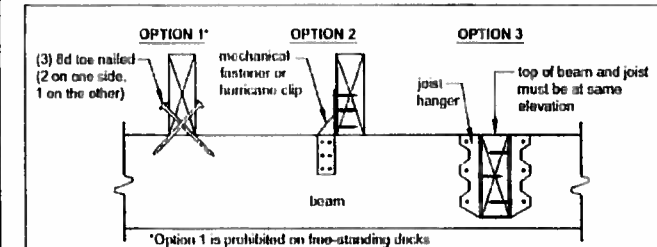
1. Chip concrete core away from existing reinforcing prior to drilling holes for new reinforcement. move location of new reinforcement as needed to avoid cutting existing reinforcing.
2. Select and drill holes from the table above. dimensions are based on a clean hole with rough sides. rotary percussion equipment and coarse rock cutting chisels are recommended. diamond core bits cannot be used.
3. Clean holes with compressed air or vacuum. remove free standing water and allow the hole to dry.
4. Mix and place epoxy grout in accordance with the manufacturers specifications and instructions.
5. Use Sikader 32 in mod or equal in vertical holes.
6. Use Sikader 31 in mod or equal in horizontal holes.
7. Allow epoxy grout to cure approximately one day at 90°F or 2 days at 75°F or 10 days 40°F before placing load on reinforcing or anchor bolts.



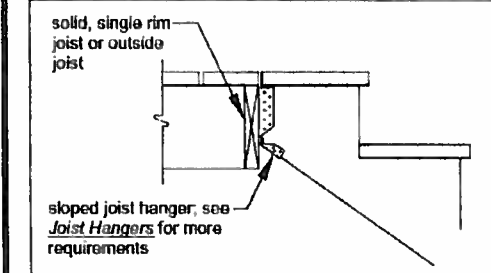
DECK DETAIL 01 SECTION OF DECK
NO SCALE



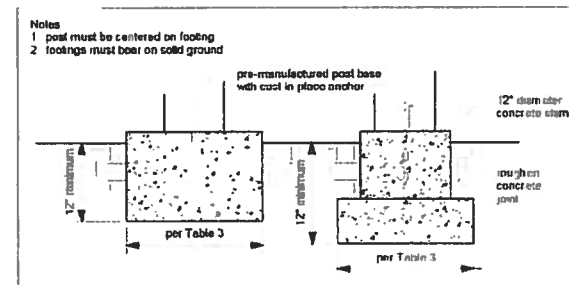
DECK DETAIL 02 DECK BEAM
NO SCALE



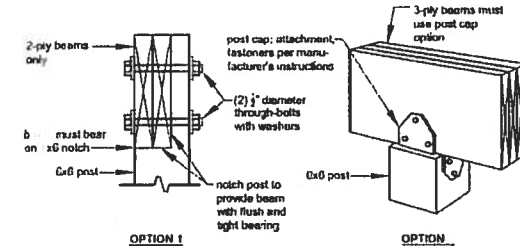
DECK DETAIL 03 JOIST TO BEAM CONNECTION
NO SCALE



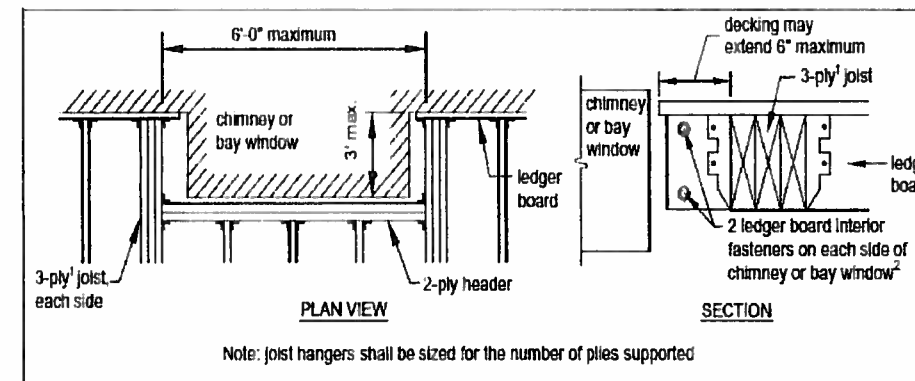
DECK DETAIL 04 STAIR STRINGER TO BEAM CONNECTION
NO SCALE



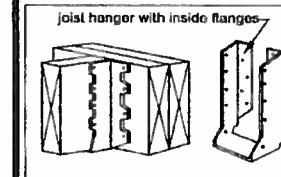
DECK DETAIL 05 FOOTINGS
NO SCALE



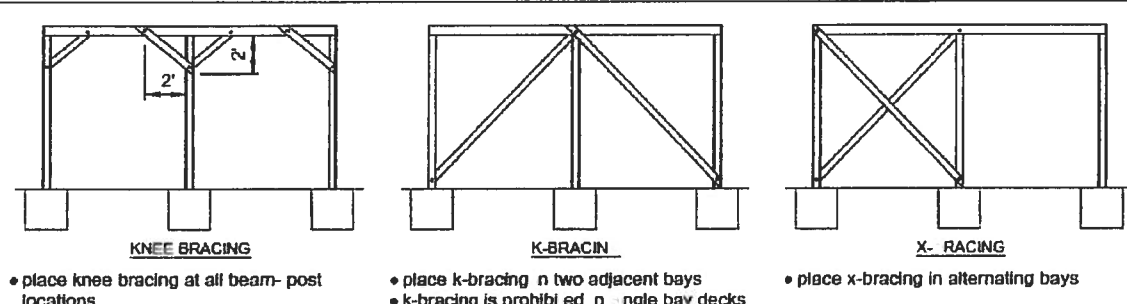
DECK DETAIL 06 POST TO BEAM CONNECTION
NO SCALE



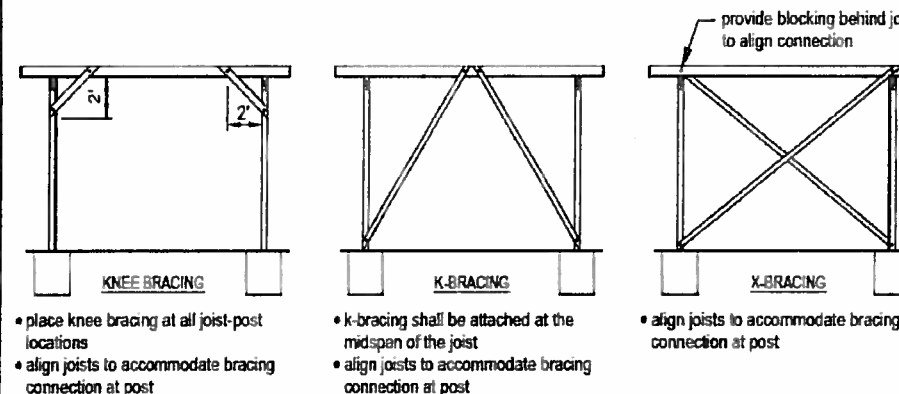
DECK DETAIL 07 DECK AT CANTILEVER DETAIL
NO SCALE



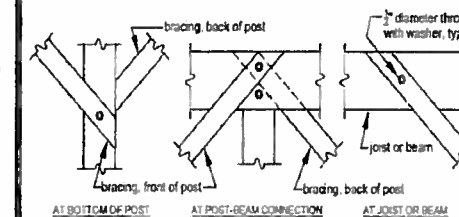
DECK DETAIL 08 JOIST HANGER DETAILS
NO SCALE



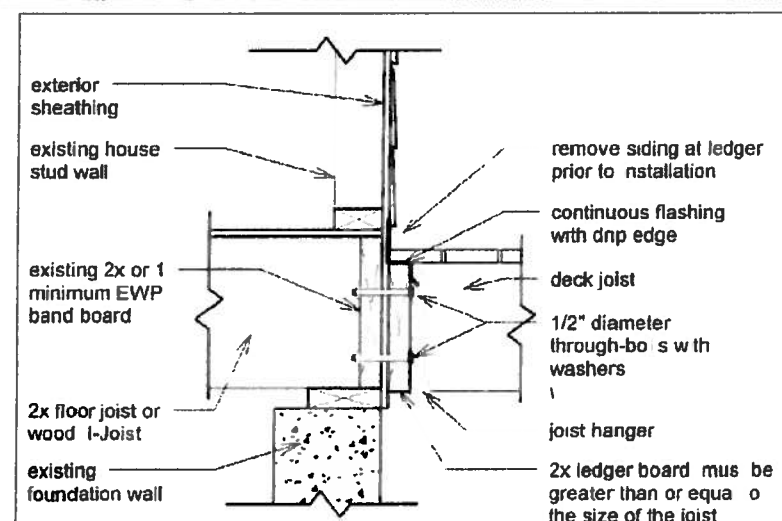
DECK DETAIL 09 DECK BRACING DETAILS FOR INDEPENDENT DECKS
NO SCALE



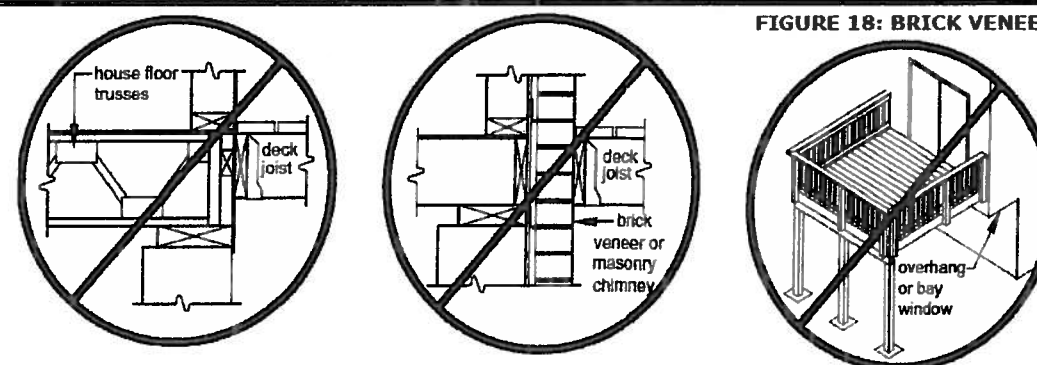
DECK DETAIL 10 DECK BRACING DETAILS FOR INDEPENDENT DECKS
NO SCALE



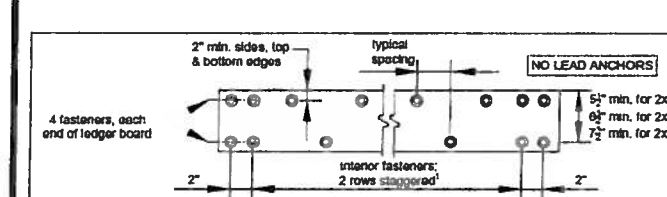
DECK DETAIL 11 DECK BRACING DETAILS FOR INDEPENDENT DECKS
NO SCALE



DECK DETAIL 12 CONNECTION OF DECK TO BUILDING BAND
NO SCALE



DECK DETAIL 13 PROHIBITED CONNECTIONS
NO SCALE



DECK DETAIL 14 DECK TO HOUSE BOLTING DETAIL
NO SCALE

CCSi

CONSTRUCTION
CONSULTING
SERVICES, inc.
an engineering company

565 Laurel Oaks Lane
Suite B100
Milton, GA 30004

m | 404.731.1666
o | 770.475.2017

ccslengr@bellsouth.net

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FOR THE FIRM OF CONSTRUCTION
CONSULTING SERVICES, INC.



27APR2015

PROJECT

POOLE
RESIDENCE

6390
SPINNAKER
LANE

ALPHARETTA
GA

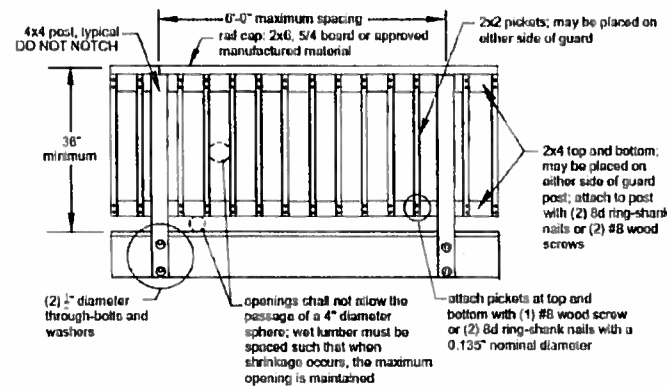
DECK
STRUCTURAL
DETAILS

REVISION

01 RELEASED FOR
CLIENT APPROVAL
27APR2015

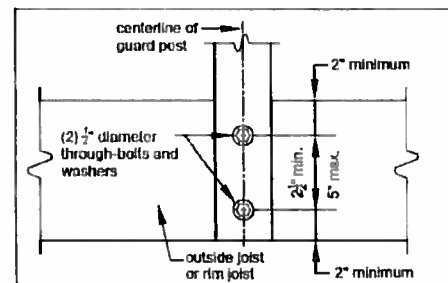
SHEET

3



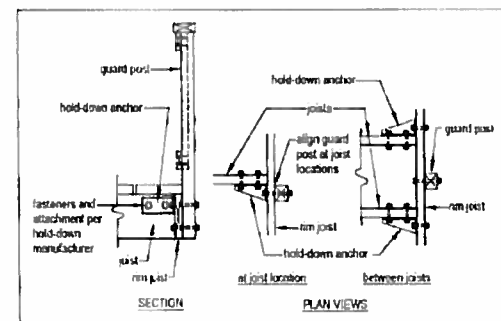
DECK DETAIL 15 GUARDRAIL DETAIL

NO SCALE



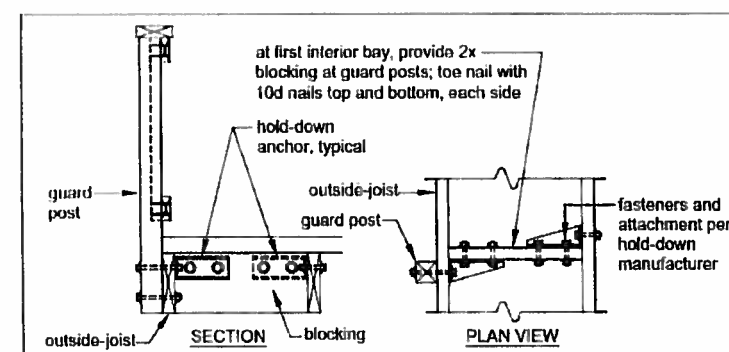
DECK DETAIL 16 GUARDRAIL DETAIL

NO SCALE



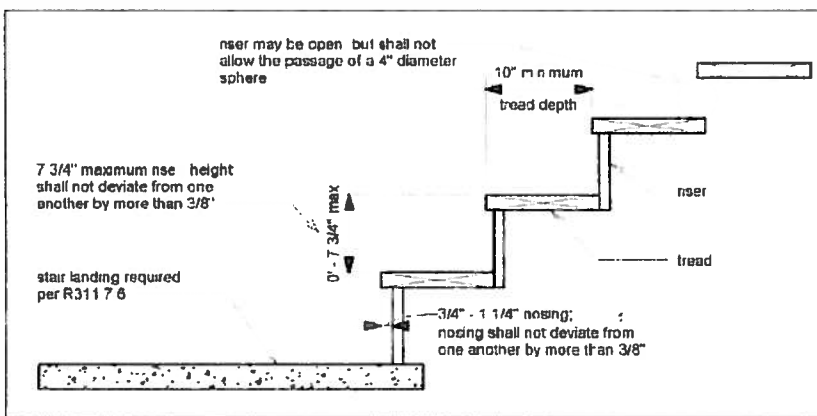
DECK DETAIL 17 GUARDRAIL DETAIL

NO SCALE



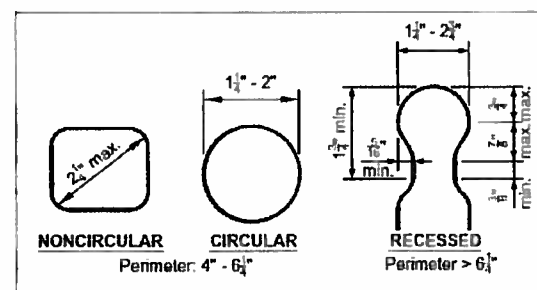
DECK DETAIL 18 GUARDRAIL DETAIL

NO SCALE



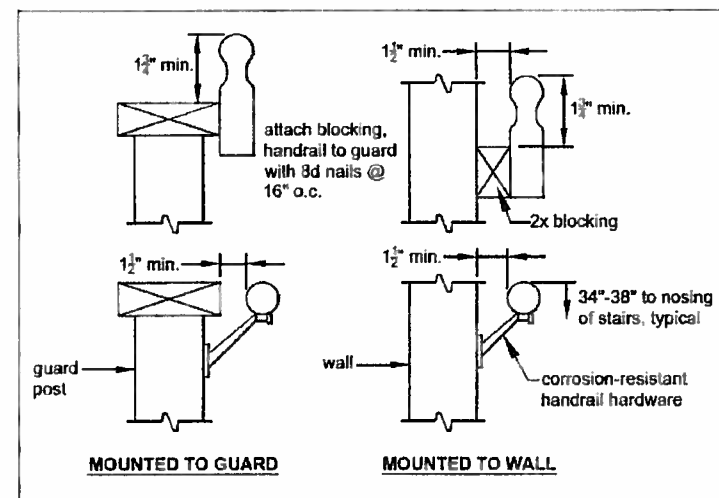
DECK DETAIL 18 STAIR PROFILE

NO SCALE



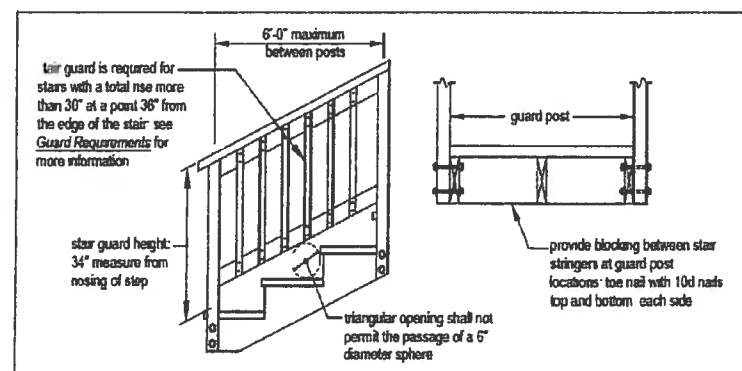
DECK DETAIL 19 HANDRAIL PROFILE

NO SCALE



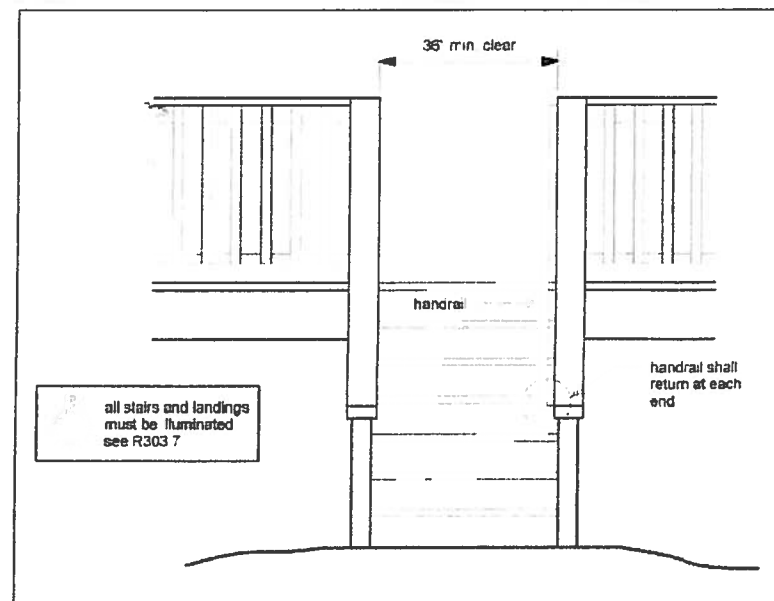
DECK DETAIL 20 HANDRAIL DETAILS

NO SCALE

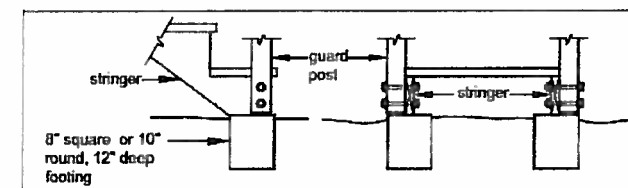


DECK DETAIL 21 STAIR GUARDRAIL CONNECTIONS

NO



DECK DETAIL 22 STAIR DETAILS



DECK DETAIL 23 STAIR STRINGER CONNECTION TO FOOTING

NO SCALE

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FOR THE FIRM OF CONSTRUCTION
CONSULTING SERVICES, INC.



PROJECT

POOLE
RESIDENCE

6390
SPINNAKER
LANE

ALPHARETTA
GA

DECK
STRUCTURAL
DETAILS

REVISIONS

01 RELEASED FOR
CLIENT APPROVAL
27APR2015

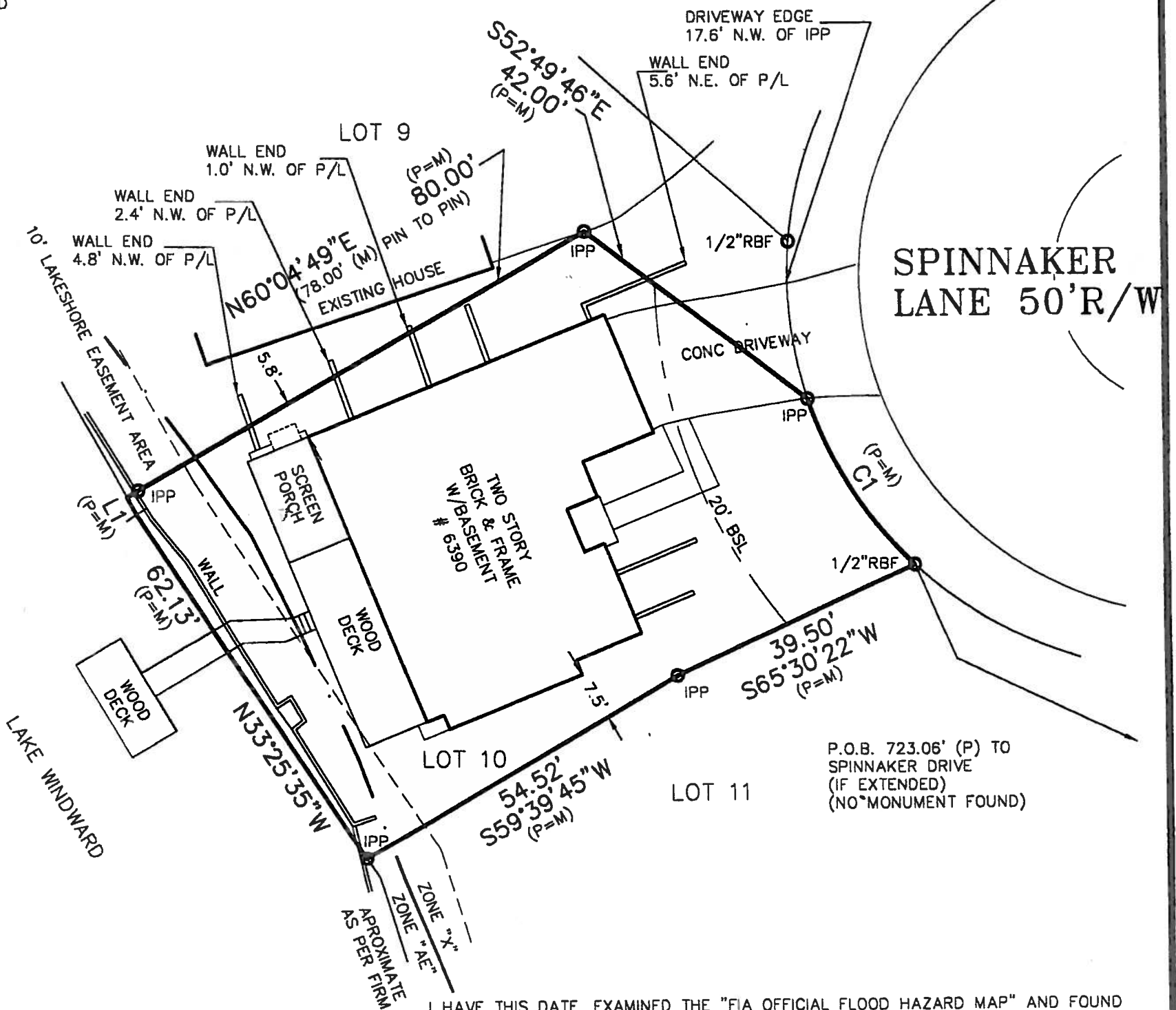
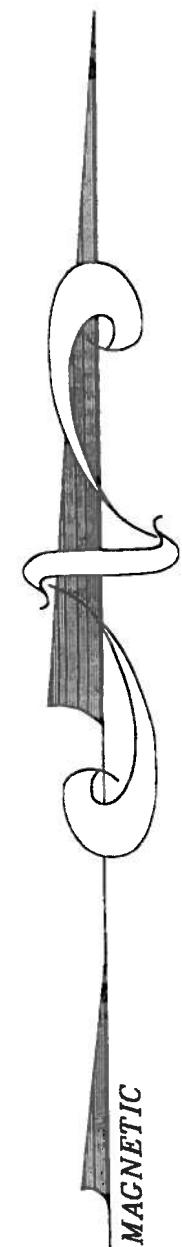
SHEET

04

LEGEND
CMP CORRUGATED METAL PIPE
DE DRAINAGE EASEMENT
SSE SANITARY SEWER EASEMENT
BSL BUILDING SETBACK LINE
RBF REBAR FOUND
IPP IRON PIN PLACED
IPF IRON PIN FOUND
OTF OPEN TOP FOUND
CTF CRIMP TOP FOUND
RB REBAR
CB CATCH BASIN
JB JUNCTION BOX
HW HEAD WALL
POB POINT OF BEGINNING
MH MAN HOLE
R/W RIGHT-OF-WAY
PP POWER POLE
LL LAND LOT
M MEASURED
D DEED
P PLAT

LINE TABLE		
LINE	LENGTH	BEARING
L1	3.00	N29°04'02"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	30.00	60.00	29.69	S32°20'20"E



AREA
5,857 sq.ft.
0.13 acres

I HAVE THIS DATE, EXAMINED THE "FIA OFFICIAL FLOOD HAZARD MAP" AND FOUND REFERENCED PARCEL IS IN AN AREA HAVING SPECIAL FLOOD HAZARDS.
MAP ID 13121C0078 F ZONE"AE"/ZONE"X" EFFECTIVE DATE : SEPTEMBER 18, 2013

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

PLAT CERTIFICATION NOTICE

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS,

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF THE LAW OF THE STATE OF GEORGIA.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67. AUTHORITY O.C.G.A. SECS. 15-6-67, 43-15-6, 43-15-19, 43-15-22.

NOTICE: IF RECORDING IS REQUIRED, CONTACT THE SURVEYOR FOR PRODUCTION OF A PLAT MADE SUITABLE FOR RECORDING

NOTE: ALL EASEMENTS DEPICTED ARE PER PUBLIC RECORD, UNLESS OTHERWISE NOTED.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OF SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 10,000 FEET, AN ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. AN ELECTRONIC TOTAL STATION WAS USED TO GATHER THE INFORMATION USED IN PREPARATION OF THIS PLAT.

FIELD DATE 05/01/15

JOB NUMBER: 15-01627



PLAT BOOK 148, PAGE 37
DEED BOOK, PAGE

ABOVE THE GROUND AS BUILT SURVEY PREPARED FOR:

ROBERT POOLE

DATE 05/06/15

OWNER / PURCHASER

ROBERT POOLE

SCALE 1" = 20'

LAND LOT 1183

1st DISTRICT

2nd SECTION

FULTON COUNTY, GEORGIA

LOT 10

BLOCK B

UNIT

AREA OF LOT: 5,857 S.F.

SUBDIVISION THE SPINNAKERS

ALL MATTERS PERTAINING
TO TITLE ARE EXCEPTED

SOLAR LAND SURVEYING COMPANY

P.O. BOX 723993 ATLANTA, GEORGIA 31139-0993
TELEPHONE (770) 794-9055 FAX (770) 794-9052

CITY OF ALPHARETTA

PUBLIC HEARING APPLICATION

FOR OFFICE USE ONLY

Case #: V-15-31

☐ Fee Paid

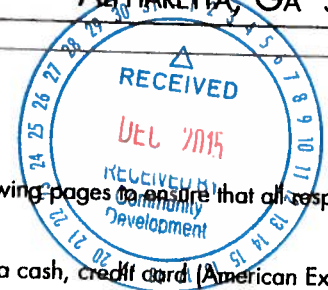
Initial: _____

COMMUNITY DEVELOPMENT DEPARTMENT

2 PARK PLAZA

ALPHARETTA, GA 30009

1. This page should be the first page in each of your completed application packets.
2. It is preferred that all responses be typed. Illegible applications will not be accepted.
3. Prior to signing and submitting your application, please check all information supplied on the following pages to ensure that all responses are complete and accurate. Incomplete applications will not be accepted.
4. Payment of all applicable fees must be made at the time of application. Payment may be made via cash, credit card (American Express, Master Card or Visa), or check made payable to "City of Alpharetta."
5. Applications will be accepted only on the designated submittal dates between the hours of 8:30 AM and 3:30 PM.
6. If you have any questions regarding this form, please contact the Community Development Department by calling 678-297-6070.



Contact Information:

Contact Name: Robert M. Poole

Telephone: 770-740-1755

Address: 6390 Spinnaker Lane

Suite: _____

City Alpharetta

State: GA

Zip: 30005

Fax: _____

Mobile Tel: 770-403-7024

Email: poolerob@gmail.com

Subject Property Information:

Address: 6390 Spinnaker Lane, Alpharetta, GA 30005

Current Zoning: _____

District: 1

Section: 2

Land Lot: 1183

Parcel ID: 13121C0078 F

Proposed Zoning: _____

Current Use: Residential

This Application For (Check All That Apply):

☐ Conditional Use

☐ Master Plan Amendment

☐ Rezoning

☐ Master Plan Review

☒ Variance

☐ Public Hearing

☐ Comprehensive Plan Amendment

☐ Other (Specify): _____

APPLICANT REQUEST AND INTENT

What is the proposed use(s) of the property?

I am a home owner and I am trying to get approval to replace my existing wooden deck and match the lower deck to the foot print of the upper deck. My proposal has been approved by both the Spinnaker and Windward Community Home Owner's Associations.

Applicant's Request (Please itemize the proposal):

My current application to the City of Alpharetta has been rejected because the existing deck is within the 15 foot easement from the edge of Lake Windward. As a pre-existing structure, it is my goal to be able to rebuild the existing deck as proposed. My neighbor's decks are also within the 15 foot easement. Nothing that I am proposing would look out of place compared to the existing structures in place on the lake's edge in Spinnakers.

If I adhered to the 15 foot easement requirement, I would have to reduce my 10 foot wide deck to 4 feet, making it unusable.

Applicant's Intent (Please describe what the proposal would facilitate):

My goal for this appeal is to be able to gain approval to rebuild my existing decks, making both the upper and lower deck the same size using the current foot print of the existing upper deck.

PROPERTY OWNER AUTHORIZATION

Property Owner Information:

Contact Name: Robert M. Poole

Telephone: 770-740-1755

Address: 6390 Spinnaker Lane

Suite:

City Alpharetta

State: GA

Zip: 30005

Authorization:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of Fulton County, Georgia, of the property identified below, which is the subject of the attached Application for Public Hearing before the City of Alpharetta, Georgia.

As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Public Hearing in request of the items indicated below.

- | | |
|---|--|
| ☐ Annexation | ☐ Special Use |
| ☐ Rezoning | ☐ Conditional Use |
| ☒ Variance | ☐ Master Plan |
| ☐ Land Use Application | ☐ Other |

Identify Authorized Applicant:

Name of Authorized Applicant: Robert M. Poole

Telephone: 770-740-1755

Address: 6390 Spinnaker Lane

Suite:

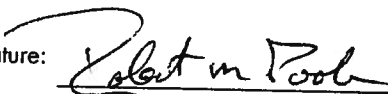
City Alpharetta

State: GA

Zip: 30005

So Sworn and Attested:

Owner Signature:



Date: 11/28/2015

Notary:

Notary Signature:

(SEE ORIGINAL)

Date:

DISCLOSURE FORM

The Official Code of Georgia Annotated requires disclosure of campaign contributions to government officials by an applicant or opponent of a rezoning or public hearing petition (O.C.G.A. 36-67 A-1).

Applicants must file this form with the City of Alpharetta Community Development Department within ten (10) days after filing for rezoning or public hearing. Opponents to a rezoning or public hearing petition must file this form five (5) days prior to the Planning Commission meeting at which the subject rezoning or public hearing petition is scheduled to be heard.

Name of Applicant or Opponent: Robert M. Poole

Subject Public Hearing Case: Variance - Existing Home Deck Replacement

Campaign Contribution Information:

Please provide the requested information for each contribution with a dollar amount or value of \$250 or more made within the past two (2) years to an Alpharetta Official by the individual identified above. Please use a separate form for each Alpharetta Official to whom such a contribution as been made.

If the individual identified above has made no such contributions to an Alpharetta Official within the past two (2) years, please indicate this by entering "N/A" on the appropriate lines below.

Name of Official: N/A

Position: N/A

Description of Contribution: N/A

Value:

Description of Contribution:

Value:

Description of Contribution:

Value:

Description of Contribution:

Value:

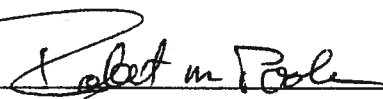
Description of Contribution:

Value:

Campaign Contribution Information:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Disclosure Form is true and accurate and that I have disclosed herein any and all campaign contributions made to an Official of the City of Alpharetta, Georgia in accordance with O.C.G.A. 36-67 A-1.

Signature:



Date: 11/28/2015

ALPHARETTA PLANNING COMMISSION REVIEW CRITERIA

How will this proposal be compatible with surrounding properties?

I am trying to get approval to replace the existing decks on the back of my house. There will be no impact on neighbors homes.

How will this proposal affect the use and value of the surrounding properties?

By replacing the existing decks which are over 20 years old, my property will look better, which will have a positive impact on the surrounding properties.

Can the property be developed for a reasonable economic use as currently zoned? Please explain why or why not.

It is currently a residential property - not asking for any change in zoning.

What would be the increase to population and traffic if the proposal were approved?

None

What would be the impact to schools and utilities if the proposal were approved?

None

How is the proposal consistent with the Alpharetta Comprehensive Plan; particularly the Future Land Use Map?

Existing neighborhood, no change in use of property.

Are there existing or changing conditions which affect the development of the property and support the proposed request?

There are no changing conditions, just want to rebuild existing decks.

On a separate sheet or sheets, please provide any information or evidence that supports your request and the statements that you have provided in this application.

BOARD OF ZONING APPEALS REVIEW CRITERIA

Please respond to the following ONLY if you are applying for a zoning variance.

Are there extraordinary and exceptional conditions pertaining to the subject property because of its size, shape, or topography? Please describe them.

All the homes in the Spinnakers subdivision of Windward Community that are located on waterfront property are located very close to the water's edge, many well within the 15 foot easement requirement.

Would the application of the Zoning Code standards as they relate to the subject property create an unnecessary hardship? Please explain.

To enforce the 15 foot easement would render my existing decks unusable.

Are there conditions that are peculiar to the subject property? Please describe them in detail.

All the lake front houses in the Spinnaker subdivision are located very close to the water's edge.

Would relief, if granted, cause substantial detriment to the public good or impair the purpose and intent of the Zoning Code? Please defend your response.

To gain approval to replace my existing decks would not impose any detriment in any way.

On a separate sheet or sheets, please provide any information or evidence that supports your request and the statements that you have provided in this application.

SIGN VARIANCE REVIEW CRITERIA

Are there exceptional conditions pertaining to the property where the sign is to be located as a result of the property size, shape, or topography which are not applicable to other lands or structures in the area? If "yes," please explain.

N/A

☐ Yes

☒ No

Would the applicant be deprived of rights that are commonly enjoyed by others similarly situated? If "yes," please explain.

My existing deck would be reduced to 4 foot wide from 10 foot wide.

☒ Yes

☐ No

Would granting the variance confer on the applicant any significant privileges which are denied to others similarly situated? If "yes," please explain.

☐ Yes

☒ No

Are the exceptional circumstances the result of actions of the applicant or the applicant's representatives? If "yes," please explain.

☐ Yes

☒ No

Is the requested variance the minimum necessary to allow the applicant to enjoy rights commonly enjoyed by others similarly situated? If "no," please explain.

☒ Yes

☐ No

Would granting of the variance violate more than one standard of the Unified Development Code? If "yes," please explain.

☐ Yes

☒ No

Would granting the variance result in allowing a sign that interferes with road or highway visibility or obstruct or otherwise interfere with the safe and orderly movement of traffic? On a separate sheet or sheets, please defend your response.

☐ Yes

☒ No

CITIZEN PARTICIPATION FORM - PART A

This form must be completed and submitted with the applicant's completed Public Hearing Application. Applications submitted to the City of Alpharetta without a completed Citizen Participation Form - Part A will not be accepted.

Public Hearing or Project Name: Poole Request to replace existing home decks.

Contact Name: Robert M. Poole

Telephone: 770-740-1755

The following people will be notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified. Use additional pages as needed.

Nan Shaw

Truc To

Method by which these individuals will be contacted. Please mark all that apply. If you select "Other," please provide a description of the method of contact that will be used.

☐

Letter

☐

Personal Visits

☐

Telephone

☐

Group Meeting

☒

Email

☐

Other (Please Specify) _____

Please describe the method(s) by which these individuals will have the opportunity to respond or contact the applicant with questions or concerns about the proposal.

Next door neighbors will be notified by email, and can respond by email.

Windward Community Services Association
1235 Old Alpharetta Road, Suite 100
Alpharetta, GA 30005
Ph: 678-551-7569
Fax: 770-521-2146
October 08, 2015

Karen Poole
6390 Spinnaker Ln
Alpharetta GA 30005
REF: 6390 Spinnaker Ln

Dear Karen Poole:

Thank you for submitting your application to the WCSA Modification Committee. Your application has been reviewed with the following conclusion(s).

Your modification for your Deck Project has been Approved with Requirements as follows:

Approved as submitted with additional caveat that the footings of the columns should be below grade - add fill to disguise if necessary.

NOTE: "Stump Removal - Any and all stumps which are visible from the street or the lake must either be ground down to below grade or removed." Please be advised that Windward has updated the standards for Tree removals and trimming. The updated standards can be found at www.windwardcommunity.org under "Community Governance" tab.

This response is for only those items shown above. If for any reason you intend for additional work to be done, it is your responsibility to notify WCSA and submit it and/or request for further review as part of the original submission. Although care has been taken to consider your modification request, it is your responsibility to insure that all work conforms to all governing codes and regulations. This approval does not certify the construction worthiness or structural integrity of the changes you have proposed. You are responsible for contacting the appropriate Utility Companies before beginning work.

Please note that work must commence and be completed within 90 days of the date of this written approval. If work is not commenced within such 90 days, the approval shall be automatically rescinded and you must submit a new request for approval. All modifications or repairs not completed within 90 days of the date of approval, or by the date of any approved extension, shall be subject to the imposition of a daily fine not to exceed \$50.00 per day, in accordance with the Declaration and Bylaws.

Thank you for your cooperation with the Association's Modifications process. The Modifications Committee review process continues to be fundamental to maintaining the quality and value of the Windward community. Should you have any questions or concerns, please contact the Windward

Association Assistant, Joanne Van De Velde via phone at 678-551-7569 or via email at windward.ga@fsresidential.com.

Sincerely,

Jennifer K. James

Senior Community Association Manager

Windward Community Services Association, Inc.



Construction Consulting Services, inc.

O | 770.475.1027 ccsiengr@bellsouth.net
565 Laurel Oaks Lane
Suite B100
Milton, GA 30004

Structural and Geotechnical Engineering
Forensic Studies
Building Code Analysis
Inspections
Building Sciences

www.ccsiengineers.com

April 7, 2015

Alan Carlson
City of Alpharetta, Georgia
2 Park Plaza
Alpharetta, GA 30009

**Re: 6390 Spinnaker Lane
Alpharetta, GA 30009
Deck Replacement**

Mr. Carlson:

Our firm has been hired by Robert Poole, the homeowner, to provide the structural design of a two level deck. The new deck will replace an existing deck and elevated patio.

The existing patio rests on a timber retaining wall that had decayed to a point that it is no longer viable. The retaining wall would be demolished and instead of a new patio a wood deck would be constructed approximately three feet from grade and at the same level as the basement. Another wood deck at the first floor level would be constructed.

The existing footings for the deck and porch do not meet the requirements of the 2012 International Residential Code with State of Georgia Amendments and will have to be replaced.

We have proposed moving the location of the new footings approximately 20 inches from the old footings toward the shoreline. This would eliminate the need to cantilever floor joists for the existing first floor area and both levels of the new deck.

It has been my experience that cantilevered decks will have issues with the rear beam "rolling" and it is difficult to provide adequate lateral bracing. This had caused safety issues for decks and porches that have been observed over the years. Another issue is that it is difficult to provide guardrails that meet the 200 pound load requirement that are attached to a band rather than a beam.

Several homes in the cove do not have cantilevered decks or porches. Their structures are closer to the shoreline than what Mr. Poole's deck would be. There should be no issues that would interfere with the lake or shoreline due to the new location of footings.

6390 SPINNAKER LANE
APRIL 7, 2015

I would appreciate you reviewing this condition and approving the proposed footing locations.

If you should have any questions, please feel free to contact me.

Regards,

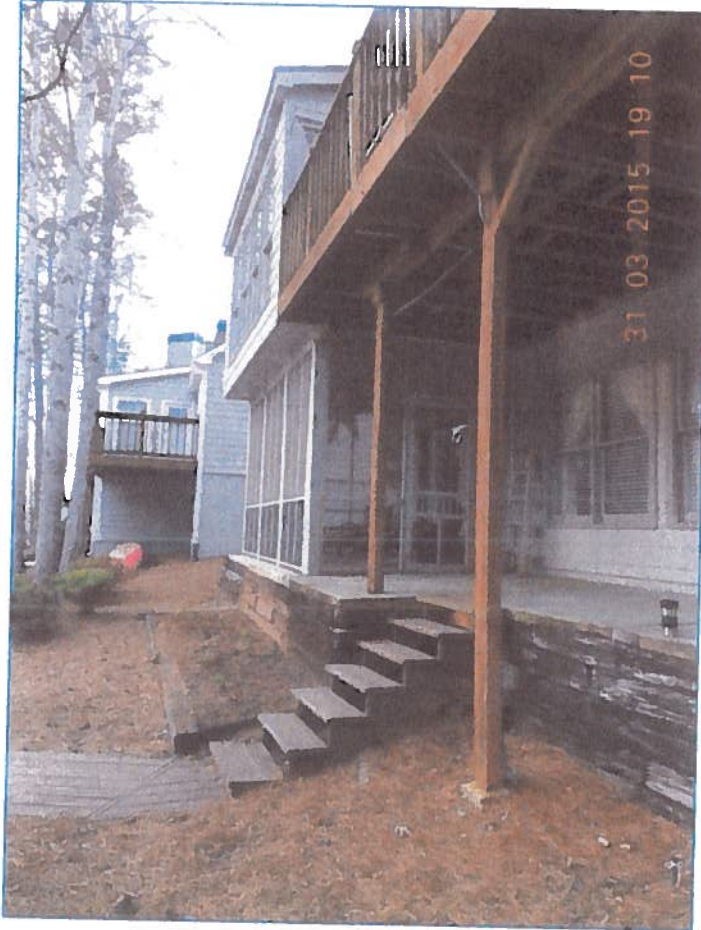


Jerry W. Hopkins, Pres.
Construction Consulting Services, Inc.

Georgia Licensed Professional Engineer, 13519



Attachment;



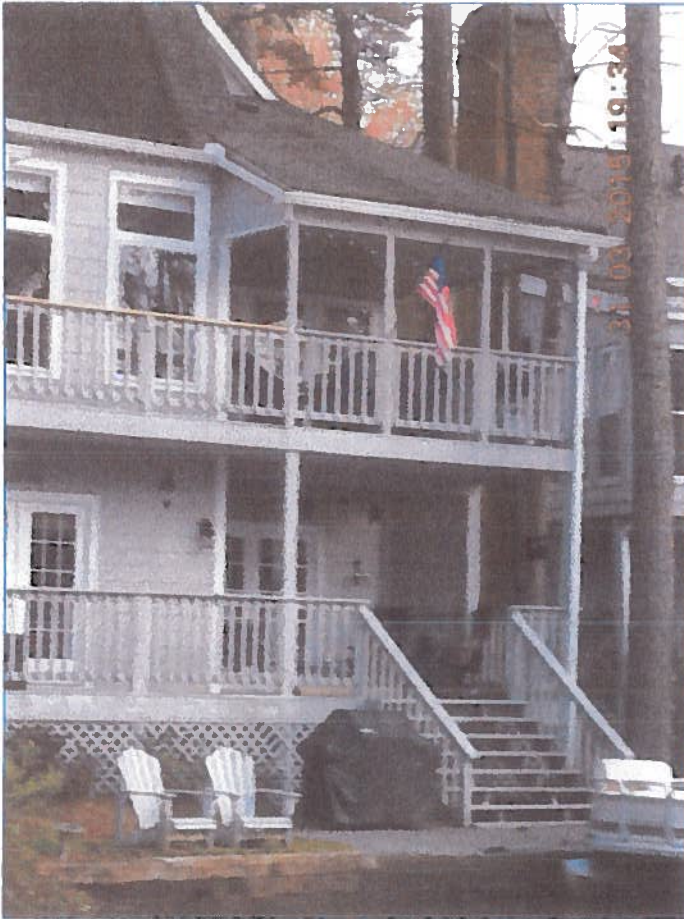
The retaining wall would be demolished along with the patio under the existing deck and first floor area. The edge of the new deck and existing first floor would align. This would require a new location for the footings. Note the small size of the existing footing.



The footings, patio and retaining wall are in poor condition and are a safety issue

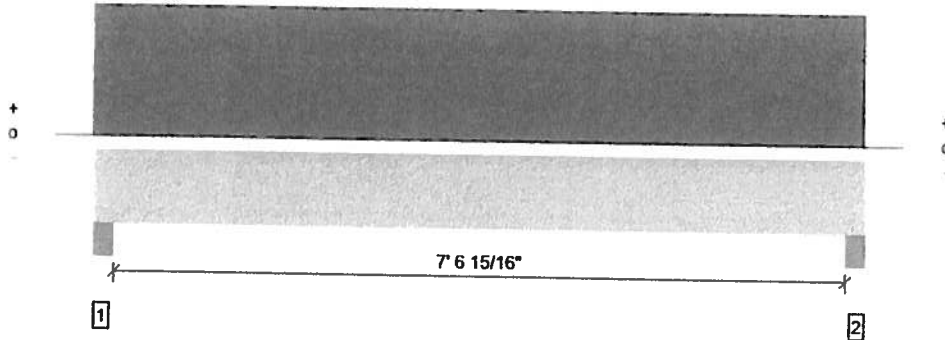


Another view of the existing deck, retaining wall and patio.



This home located in the cove has a upper and lower deck similar to what we have proposed for the Poole residence.

Overall Length: 8' 5 15/16"



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	1978 @ 4"	13984 (5.50")	Passed (14%)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Shear (lbs)	1330 @ 1' 2 3/4"	4856	Passed (27%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	3376 @ 4' 3"	4279	Passed (79%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.046 @ 4' 3"	0.196	Passed (L/999+)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Total Load Defl. (in)	0.095 @ 4' 3"	0.391	Passed (L/992)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)

• Deflection criteria: LL (L/480) and TL (L/240).

• Bracing (Lu): All compression edges (top and bottom) must be braced at 8' 5 15/16" o/c unless detailed otherwise. Proper attachment and positioning of lateral bracing is required to achieve member stability.

• Applicable calculations are based on NDS.

System : Floor
Member Type : Flush Beam
Building Use : Residential
Building Code : IBC
Design Methodology : ASD

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Roof Live	Total	
1 - Column - SYP	5.50"	5.50"	1.50"	1022	850	425	2297	None
2 - Column - SYP	5.50"	5.50"	1.50"	1022	850	425	2297	None

Loads	Location	Tributary Width	Dead (0.90)	Floor Live (1.00)	Roof Live (non-snow: 1.25)	Comments
1 - Uniform (PSF)	0 to 8' 5 15/16"	5'	10.0	40.0	-	first
2 - Uniform (PSF)	0 to 8' 5 15/16"	5'	20.0	-	20.0	roof ceiling
3 - Uniform (PLF)	0 to 8' 5 15/16"	N/A	80.0	-	-	wall

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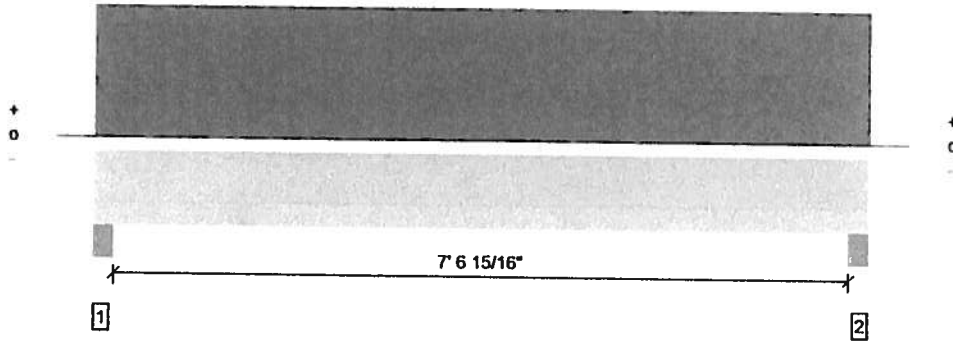
The product application, input design loads, dimensions and support information have been provided by Forte Software Operator



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Overall Length: 8' 5 15/16"



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	1092 @ 4"	9323 (5.50")	Passed (12%)	—	1.0 D + 1.0 L (All Spans)
Shear (lbs)	776 @ 1' 2 3/4"	3238	Passed (24%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	1970 @ 4' 3"	2853	Passed (69%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.061 @ 4' 3"	0.196	Passed (L/999+)	—	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.078 @ 4' 3"	0.391	Passed (L/999+)	—	1.0 D + 1.0 L (All Spans)

System : Floor
Member Type : Flush Beam
Building Use : Residential
Building Code : IBC
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Bracing (Lu): All compression edges (top and bottom) must be braced at 8' 5 15/16" o/c unless detailed otherwise. Proper attachment and positioning of lateral bracing is required to achieve member stability.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	5.50"	5.50"	1.50"	242	850	1092	None
2 - Column - SYP	5.50"	5.50"	1.50"	242	850	1092	None

Loads	Location	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
1 - Uniform (PSF)	0 to 8' 5 15/16"	5'	10.0	40.0	Residential - Living Areas

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The product application, input design loads, dimensions and support information have been provided by Forte Software Operator



Forte Software Operator	Job Notes
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