



PLANNING COMMISSION MEETING AUGUST 3, 2023

ALPHARETTA CITY HALL
COUNCIL CHAMBERS
2 PARK PLAZA
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. ITEMS FROM BOARD MEMBERS

IV. APPROVAL OF MEETING MINUTES

1. Meeting Minutes from July 13, 2023

V. PUBLIC HEARING

1. CLUP-23-03/Z-23-10 Valor Christian Academy / 4665 Webb Bridge Road

Consideration of a comprehensive land use plan amendment and rezoning to allow an 'Academic School' in an existing building previously used as a day care center. A comprehensive land use plan amendment is requested from 'Low Density Residential' to 'Public, Institutional, Education' and a rezoning is requested from AG (Agriculture) to SU (Special Use). The property is located at 4665 Webb Bridge Road and is legally described as being located in Land Lot 163, 1st District, 1st Section, Fulton County, Georgia.

2. Z-23-09/V-23-15 2325 Old Milton Parkway Tract-This item has been deferred and will not be heard during the August 3rd, 2023 Planning Commission meeting.

Consideration of a rezoning and variance to allow for the construction of 24 'For-Sale' townhomes on 4.9 acres. A rezoning is requested from O-I (Office-Institutional) and R-12 (Dwelling, 'For-Sale', Residential) to DT-LW (Downtown Live-Work). Variances are requested to reduce stream buffers, modify streetscape standards and reduce landscape strips. The property is located at 2325 Old Milton Parkway and is legally described as being located in Land Lot 748, 1st District, 2nd Section, Fulton County, Georgia.

VI. ITEMS FROM STAFF

VII. ADJOURNMENT



Planning Commission Meeting
July 13, 2023
Department of Community Development
ALPHARETTA CITY HALL | 2 PARK PLAZA
6:30 P.M.

This summary is provided as a convenience and service to the public, media, and staff. It is not the intent to record proceedings verbatim. Any reproduction of this summary must include this notice. Public comments are noted as heard by Planning Commission, but not quoted or paraphrased. This document includes limited presentation by Planning Commission and invited speakers in summary form. The public is advised that the tapes recorded at said meeting are a matter of public record and are available upon request.

I. CALL TO ORDER

- Francis Kung'u called the meeting to order at 6:34 P.M.

II. ROLL CALL

- **Planning Commissioners present:**
 - Francis Kung'u (Chairman)
 - Fergal Brady (Vice Chair)
 - Karen Richard
 - Todd Stratton
 - William Perkins
 - Jill Reynolds
 - Martine Zurinkas
- **Staff present:**
 - Kathi Cook, Director of Community Development & Economic Development
 - Michael Woodman, Planning + Development Services Manager
 - Nikisha Mistry, GIS Specialist/Planner
 - Tracy Jackson, Planning + Zoning Coordinator
 - James Drinkard, Assistant City Administrator

III. APPROVAL OF MEETING MINUTES

- ❖ Commissioner Brady offered a motion to approve the Planning Commission Meeting Minutes from April 13, 2023.
 - Commissioner Richard second the motion.
 - The motion was approved (7-0)

ITEMS FROM BOARD MEMBERS

IV. ITEMS FROM STAFF

V. PUBLIC HEARING

1. CLUP-23-02 / Z-23-06 / V-23-07 North Main Street Townhomes

Planning & Development Services Manager, Woodman came forward to present this item.

- **Staff is recommending the following conditions:**

1. The 2.28-acre property shall be zoned R-8A/D and developed substantially similar to site plan prepared by DMG Land Planning Consultants, dated 6/1/23, except for modifications required to comply with the conditions below. However, lot yield depicted is not guaranteed and subject to meeting all City code requirements and conditions of zoning.
2. The comprehensive land use plan designation of the property shall be 'High Density Residential'.
3. Architecture and materials shall be developed substantially similar to the submitted renderings, labeled Exhibit A -Renderings, subject to final approval by Staff. Townhomes shall have 4-sided architecture, materials, and details.
4. Density shall not exceed 7.02 dwelling units per acre.
5. Developer shall improve the North Main Street streetscape as follows: planter planted with street trees and/or shrubs (as approved by GDOT) and decorative pedestrian lighting, with final approval by Staff.
6. Decorative pedestrian lighting shall be required throughout the development. Internal streets and alleys shall be private and maintained by the HOA.
7. Minimum 5' sidewalks shall be providing along new private driveway and connecting to the public sidewalk. If Fulton County requires an unencumbered easement, sidewalk may be on one side of the street.
8. Minimum 20' building setback and landscape strip shall be provided along North Main Street and shall be planted with shade trees outside of utility easements and overhead utilities, as approved by Staff.
9. Minimum 10' landscape strips shall be provided along the new private driveway. If Fulton County requires an unencumbered easement, shrubs shall replace tree requirements on one side of the street.
10. Minimum 10' planted buffers shall be provided along the west and east property lines. Existing trees shall be saved in the buffer areas where not in conflict with site balancing and utility installation.
11. Property owner acknowledges that redevelopment of the properties to the north, east and west with non-residential uses shall not require an undisturbed buffer adjacent to the subject property.
12. Creeping vines shall be planted to cover retaining and low walls, as approved by Staff.
13. Developer shall save trees as depicted on Sheet T.1 prepared by TJ Schell, LLC, dated 3/29/2023.
14. Fences and walls visible from the public right-of-way shall be decorative, as approved by Staff. Unfinished wood fences and decks shall not be visible from the street.

15. HVAC and similar equipment shall not be visible from the public right-of-way.
16. Stormwater management area shall be screened from adjacent properties with a heavily planted evergreen buffer along the north, east and west sides to create an opaque screen, as approved by Staff.
17. Developer shall make reasonable efforts to tie directly to an existing offsite pipe including obtaining easements and agreements from the neighboring property. If direct tie-in is unavailable, daylighting the pond outfall pipe shall be done at least 30 feet from the property line.
18. Garbage pickup shall be from within the development.
19. No more than 10% of the residential units shall be permitted to be rented, as recorded in the HOA's declarations and covenants.

- **Planning Commission discussed the following:**

- Commissioner Stratton asked a question regarding condition #11 stating that the reading of it does not convey importance, we may need to reword this one.
- Commissioner Brady questioned are we looking conceptually towards all the improvements that will be done on Hwy 9. Is staff in support of this to go from Commercial to residential?
- Commissioner Zurinkas concern about condition #10 regarding evergreens.
- Is applicant ok with following all of staff recommendations.
- What price point is the product?

- **Public Comment:**

- No public comment

- ❖ Commissioner Stratton offered a motion to approve item (CLUP-23-02 / Z-23-06 V-23-07) subject to the conditions read by Mr. Woodman with Changes to Condition #10 & #11 and adding condition # 20.

1. The 2.28-acre property shall be zoned R-8A/D and developed substantially similar to site plan prepared by DMG Land Planning Consultants, dated 6/1/23, except for modifications required to comply with the conditions below. However, lot yield depicted is not guaranteed and subject to meeting all City code requirements and conditions of zoning.
2. The comprehensive land use plan designation of the property shall be 'High Density Residential'.
3. Architecture and materials shall be developed substantially similar to the submitted renderings, labeled Exhibit A - Renderings, subject to final approval by Staff. Townhomes shall have 4-sided architecture, materials and details.
4. Density shall not exceed 7.02 dwelling units per acre.

5. Developer shall improve the North Main Street streetscape as follows:
planter planted with street trees and/or shrubs (as approved by GDOT)
and decorative pedestrian lighting, with final approval by Staff.
6. Decorative pedestrian lighting shall be required throughout the
development. Internal streets and alleys shall be private and
maintained by the HOA.
7. Minimum 5' sidewalks shall be providing along new private driveway
and connecting to the public sidewalk. If Fulton County requires an
unencumbered easement, sidewalk may be on one side of the street.
8. Minimum 20' building setback and landscape strip shall be provided
along North Main Street and shall be planted with shade trees outside
of utility easements and overhead utilities, as approved by Staff.
9. Minimum 10' landscape strips shall be provided along the new private
driveway. If Fulton County requires an unencumbered easement, shrubs
shall replace tree requirements on one side of the street.
10. Minimum 10' planted evergreen buffers shall be provided along the
west and east property lines. Existing trees shall be saved in the buffer
areas where not in conflict with site balancing and utility installation.
11. The HOA declarations and covenants shall include an
acknowledgement that the owners of the surrounding commercial tracts
abutting the subject property may seek a variance to reduce the width
of the undisturbed buffer requirement as a result of the rezoning of the
subject property from C-2 to R-8A/D. Property owners subject to the
HOA declarations and covenants shall not object to any such
reasonable variance request.
12. Creeping vines shall be planted to cover retaining and low walls, as
approved by Staff.
13. Developer shall save trees as depicted on Sheet T.1 prepared by TJ
Schell, LLC, dated 3/29/2023.
14. Fences and walls visible from the public right-of-way shall be
decorative, as approved by Staff. Unfinished wood fences and decks
shall not be visible from the street.
15. HVAC and similar equipment shall not be visible from the public right-
of-way.
16. Stormwater management area shall be screened from adjacent
properties with a heavily planted evergreen buffer along the north, east
and west sides to create an opaque screen, as approved by Staff.
17. Developer shall make reasonable efforts to tie directly to an existing
offsite pipe including obtaining easements and agreements from the
neighboring property. If direct tie-in is unavailable, daylighting the
pond outfall pipe shall be done at least 30 feet from the property line.
18. Garbage pickup shall be from within the development.
19. No more than 10% of the residential units shall be permitted to be
rented, as recorded in the HOA's declarations and covenants.

20. Developer shall install fencing and landscape material along western property line (adjacent to the Kalen Center) as shown on Exhibit B.

- Commissioner Zurinkas seconded the motion.
- The motion was approved (7-0)

2. Z-23-07 / V-23-12 Davis Tract TPG

Planning & Development Services Manager, Woodman came forward to present this item.

- **Staff is recommending the following conditions:**

1. The 8.585-acre property shall be zoned R-10M and developed substantially as depicted on the site plan prepared by Travis Pruitt & Associates, dated 6/30/23, except for modifications required to comply with these conditions. However, lot yield depicted is not guaranteed and subject to meeting all City code requirements and conditions of zoning.
2. Maximum density of 9.9 dwelling units per acre.
3. Architecture and materials shall be developed substantially similar to the submitted photographs, labeled Exhibit A – Design Photographs, subject to final approval by Staff.
4. Permitted uses on the property shall be limited to 'For-Sale' townhomes only.
5. No more than 50 townhome units shall have a 16' lot width.
6. Minimum 20' setback and maximum 30' setback shall be provided along Davis Drive.
7. Developer shall provide a minimum 20' planted buffer along the side property lines, with final approval by Staff.
8. Eco District measures shall be substantially similar to the description in the applicant's letter of intent, revised May 17, 2023. Developer shall provide detailed information at LDP and building permit regarding compliance with each requested Eco District measure. Eco District points to be confirmed by Staff.
9. Developer shall enhance project entrance with a decorative planted median, as well as decorative hardscape, landscape, and North Point Eco District monument. Cultural Arts Commission shall consider the Eco District monument and Staff will consider the hardscape and landscape. Hardscape, landscape, and monument shall be maintained by the HOA.
10. Minimum 1.55 acres of open space shall be reserved and improved substantially as depicted on the plan prepared by Travis Pruitt & Associates, dated 6/30/23. A permanent easement shall be dedicated to the City for public access over required civic space. HOA shall be responsible for maintenance of all open space areas.
11. Stormwater management facilities shall be improved with a natural appearance (underground with open space above or above-ground with natural earthen bank), as approved by Staff. Developer shall accommodate existing stormwater pond capacity into the design of the proposed

development. Smart stormwater design techniques shall be employed to address run-off reduction, as approved by Staff.

12. Privacy fences and unfinished wood decks shall not be visible from the public right-of-way.
13. Townhomes shall have connectivity to the public sidewalk system.
14. Project entrance and new street (not including alleys) shall be improved with a minimum 6' planter and minimum 5' sidewalk, as depicted on the site plan prepared by Travis Pruitt & Associates, dated 6/30/23, as approved by Staff. New street parallel to Davis Drive shall require a planter, sidewalk, and landscape strip on the south side of the street only. Decorative pedestrian lighting shall be required throughout the development. Internal streets shall be private and maintained by the HOA.
15. Developer shall provide a minimum 6' trail through the civic space on the north end of the site. At a minimum, trail shall provide a connection between the sidewalk on Davis Drive and the cemetery and shall include lighting and benches, as approved by Staff. Developer shall dedicate a permanent public access easement over the trail.
16. Developer shall save trees in the tree save area depicted on the site plan prepared by Travis Pruitt & Associates, dated 6/30/23. Developer shall save tree #292 (25" Tulip Poplar) and #293 (30" Tulip Poplar) with minimal impacts to the CRZ of 10% or less. Smaller trees within the CRZ of trees #292 and #293 shall be saved as identified by the project arborist, with final approval by the City Arborist.
17. CRZ impacts to trees in the Georgia 400 Tree Protection Zone shall be limited to no more than 20%, as approved by Staff. Only the pines depicted with impacts to their structural root plate (SRP) as shown on the site plan prepared by Travis Pruitt & Associates, dated 6/30/23, shall be removed. Developer shall replace trees removed in the Georgia 400 Tree Protection Zone with evergreen trees planted in the Tree Protection Zone, with final approval by Staff.
18. No more than 10% of the residential units shall be permitted to be rented, as recorded in the HOA's declarations and covenants.

- **Planning Commission discussed the following:**

- Commissioner Kung'u questioned the number of assisted living facilities in the area.
- Has there been any other properties approved with this lot size.
- Does the city find this favorable due to the variety of the project?
- Regarding the open space on condition #15, should there be specific language about lighting benches, ect.
- Should there be language add regard to upkeep on the property?
- What was the impact of the adjacent roads?
- Will you be open to adding a comment to a condition?
- Whose responsibility is it to maintain the cemetery?

- **Public Comment:**

- No public comment

- ❖ Commissioner Richard offered a motion to approve item **(Z-23-07 / V-23-12 Davis Tract TPG)** subject to the red line conditions presented tonight.

1. The 8.585-acre property shall be zoned R-10M and developed substantially as depicted on the site plan prepared by Travis Pruitt & Associates, dated 7/12/23, except for modifications required to comply with these conditions. However, lot yield depicted is not guaranteed and subject to meeting all City code requirements and conditions of zoning.
2. Maximum density of 9.9 dwelling units per acre.
3. Architecture and materials shall be developed substantially similar to the submitted photographs, labeled Exhibit A – Design Photographs, subject to final approval by Staff.
4. Permitted uses on the property shall be limited to 'For-Sale' townhomes only.
5. No more than 50 townhome units shall have a 16' lot width.
6. Minimum 20' setback and maximum 30' setback shall be provided along Davis Drive.
7. Developer shall provide a minimum 20' planted buffer along the side property lines with the following exceptions: On the property line shared with Tax Parcel ID 12 249006070344 (Pappadeaux) the street shall be permitted to encroach as generally depicted on the site plan prepared by Travis Pruitt & Associates, dated 7/12/23. On the property line shared with Tax Parcel ID 12 249006390395 (Top Golf), the 20' planted buffer shall not be required in tree save areas as generally depicted on the site plan prepared by Travis Pruitt & Associates, dated 7/12/23. Final approval of the planted buffer by Staff.
8. Eco District measures shall be substantially similar to the description in the applicant's letter of intent, revised May 17, 2023. Developer shall provide detailed information at LDP and building permit regarding compliance with each requested Eco District measure. Eco District points to be confirmed by Staff.
9. Developer shall enhance project entrance with a decorative planted median, as well as decorative hardscape, landscape, and North Point Eco District monument. Cultural Arts Commission shall approve the Eco District monument and Staff shall approve the hardscape and landscape. Hardscape, landscape, and monument shall be maintained by the HOA.

10. Minimum 1.55 acres of open space shall be reserved and improved substantially as depicted on the plan prepared by Travis Pruitt & Associates, dated 7/12/23. Amenity space shall be improved with landscape, hardscape, seating, and gathering areas, as approved by Staff. HOA shall be responsible for maintenance of all open space areas.
11. Stormwater management facilities shall be improved with a natural appearance (underground with open space above or above-ground with natural earthen bank), as approved by Staff. Developer shall accommodate existing stormwater pond capacity into the design of the proposed development. Smart stormwater design techniques shall be employed to address run-off reduction, as approved by Staff.
12. Privacy fences and unfinished wood decks shall not be visible from the public right-of-way.
13. Townhomes shall have connectivity to the public sidewalk system.
14. Project entrance and new street (not including alleys) shall be improved as generally depicted on the site plan prepared by Travis Pruitt & Associates, dated 7/12/23, as approved by Staff. New street parallel to Davis Drive shall require a planter, sidewalk, and landscape strip on the south side of the street only as generally depicted on the site plan by Travis Pruitt & Associates, dated 7/12/23. Decorative pedestrian lighting shall be required throughout the development. Internal streets shall be private and maintained by the HOA.
15. Developer shall provide a minimum 6' trail through the civic space on the north end of the site. At a minimum, trail shall provide a connection between the sidewalk on Davis Drive and the cemetery and shall include lighting and benches, as approved by Staff.
16. Developer shall save trees in the tree save area depicted on the site plan prepared by Travis Pruitt & Associates, dated 7/12/23.
17. In lieu of saving trees #292 and #293, developer shall plant 4 signature trees of 10-12" caliper as situated by a landscape architect for maximum community benefit and approved by Staff.
18. CRZ impacts to trees in the Georgia 400 Tree Protection Zone shall be limited to no more than 20%, as approved by Staff. Only the pines depicted with impacts to their structural root plate (SRP) as shown on the site plan prepared by Travis Pruitt & Associates, dated 6/30/23, shall be removed. Developer shall replace trees removed in the Georgia 400 Tree Protection Zone with evergreen trees planted in the Tree Protection Zone, with final approval by Staff.
19. No more than 10% of the residential units shall be permitted to be rented, as recorded in the HOA's declarations and covenants.
20. The applicant shall work with the Alpharetta Historical Society to determine the McGinnis cemetery improvements that may include new ornamental fencing, landscape, repair of headstones, and signage.

Sufficient landscape screening shall be provided between the new site and the cemetery with final approval by Staff.

- Commissioner Brady seconded the motion.
- The motion was approved (7-0)

3. CU-23-03 / BrandedMed Rx / 4150 Old Milton Pkwy

Planning & Development Services Manager, Woodman came forward to present this item.

- **Staff is recommending the following conditions:**

1. 'Drug Store, Pharmacy' shall be added as a conditional use at 4150 Old Milton Parkway, Suite 113 & 114 and limited to no more than 1,900 square feet.
2. Conditional use approval shall be limited to Brandedmed RX; no additional 'Drug Store, Pharmacy' use or subleasing shall be permitted within the approved space.
3. 'Drug Store, Pharmacy' shall be limited to a retail pharmacy, including in-store sales and deliveries. There shall be no urgent care or pain management clinic in the leased space. There shall be no tobacco products.
4. Hours of operation shall be limited to Monday – Saturday 9:00 AM – 5:00 PM.
5. Pharmacy delivery vehicles shall not be parked overnight in the parking lot facing Old Milton Parkway.
6. Business shall be limited to no more than 1 wall sign with sign copy limited to either white or anodized bronze. Wall sign shall not have an internally lit face and any illumination shall be white.
7. Window signage shall be limited to no more than 5% of the total window area.

- **Planning Commission discussed the following:**

No questions from commissioners

- **Public Comment:**

- No public comment

- ❖ Commissioner Perkins offered a motion to approve item (CU-23-03 / BrandedMed Rx / 4150 Old Milton Pkwy) with conditions as presented today.

1. 'Drug Store, Pharmacy' shall be added as a conditional use at 4150 Old Milton Parkway, Suite 113 & 114 and limited to no more than 1,900 square feet.
2. Conditional use approval shall be limited to Brandedmed RX; no additional 'Drug Store, Pharmacy' use or subleasing shall be permitted within the approved space.

3. 'Drug Store, Pharmacy' shall be limited to a retail pharmacy, including in-store sales and deliveries. There shall be no urgent care or pain management clinic in the leased space. There shall be no tobacco products.
4. Hours of operation shall be limited to Monday – Saturday 9:00 AM – 5:00 PM.
5. Pharmacy delivery vehicles shall not be parked overnight in the parking lot facing Old Milton Parkway.
6. Business shall be limited to no more than 1 wall sign with sign copy limited to either white or anodized bronze. Wall sign shall not have an internally lit face and any illumination shall be white.
7. Window signage shall be limited to no more than 5% of the total window area.
 - Commissioner Zurinkas seconded the motion.
 - The motion was approved (7-0)

VI. ANNOUNCEMENTS

VII. ADJOURNMENT

- ❖ With there being no further items to consider or discuss Chairman Kung'u adjourned the meeting at 8:36 P.M.

Respectfully submitted,

Tracy Jackson

Tracy Jackson, Planning + Zoning Coordinator



CITY COUNCIL MEETING STAFF REPORT

SUBMITTING DEPARTMENT: COMMUNITY DEVELOPMENT

SUBMITTED BY: KATHI COOK

DRAFTED BY: MICHAEL WOODMAN

I. AGENDA ITEM TITLE: CLUP-23-03/Z-23-10 VALOR CHRISTIAN ACADEMY/4665 WEBB BRIDGE ROAD

PLANNING COMMISSION: AUGUST 3, 2023

CITY COUNCIL: AUGUST 28, 2023

II. RECOMMENDATION:

Approve CLUP-23-03/Z-23-10 VALOR CHRISTIAN ACADEMY/4665 WEBB BRIDGE ROAD, subject to the following conditions:

1. The 2.83-acre property shall be zoned SU and limited to an 'Academic School' serving pre-K through 1st grade. Site shall be developed substantially similar to the submitted survey prepared by Total Site Solutions, dated 3/16/23, except for modifications required to comply with the conditions below and subject to meeting all City code requirements and conditions of zoning.
2. The comprehensive land use plan designation of the property shall be 'Public, Institutional, Education'.
3. Outdoor play areas shall be limited to the side and rear yards and shall be heavily screened from the public right-of-way.
4. Developer shall assess site landscaping and replace missing, dead or dying landscape material, as approved by Staff.
5. Developer shall install a double row of shrubs adjacent to the parking lot to screen parking area from the street, as approved by Staff.

III. REPORT IN BRIEF:

The applicant, Valor Christian Academy, is requesting a comprehensive land use plan amendment and rezoning to allow an 'Academic School' in an existing building previously used as a day care center. Valor Christian Academy is expanding their campus to include the subject property for a pre-K through 1st grade school. A comprehensive land use plan amendment is requested from 'Low Density Residential' to 'Public, Institutional, Education' and a rezoning is requested from AG (Agriculture) to SU (Special Use). The subject property is located at 4665 Webb Bridge Road on the south side of Webb Bridge Road and just east of Webb Bridge Way.

DISCUSSION

The submitted request, if approved, would allow for the re-use of an existing building for an 'Academic School'. Valor Christian Academy (F.K.A. Bridgeway Christian School) is expanding their campus, located to the south and east, to include the subject property for a pre-K through 1st grade school. A comprehensive land use plan amendment is requested from 'Low Density Residential' to 'Public, Institutional, Education' and a rezoning is requested from AG (Agriculture) to SU (Special Use). The subject property is located at 4665 Webb Bridge Road on the south side of Webb Bridge Road and just east of Webb Bridge Way.

The property is developed with a one (1) story, 11,669 square foot building previously used as a day care center (Appletree-ABC Childcare). In 2007, the property was annexed into the City

from unincorporated Fulton County. Surrounding properties are zoned CUP (Community Unit Plan) to the north, west and south and SU to the east. Parkside Manor is located to the north, Christ the Shepherd Lutheran Church is located to the west, and Valor Christian Academy is located to the south and east. The comprehensive land use plan designation of the property is 'Low Density Residential', which requires an amendment to allow the proposed use.

SITE PLAN

The site plan depicts the one (1) story, 11,669 square foot building and associated parking to remain. No additions or site modifications are proposed. The applicant will make interior improvements to the building, including the addition of a fire sprinkler system, modifications to the fire alarm system, modification of ADA bathrooms, and miscellaneous interior improvements. The existing structure is set back approximately 136' from Webb Bridge Road. A 42-space parking lot with dedicated pick-up/drop-off lane is positioned between the building and street. The property complies with the SU district regulations.

The Unified Development Code (UDC) requires one (1) parking space for each classroom and administrative office, plus five (5) visitor spaces. The submitted floor plan depicts eleven (11) classrooms and four (4) administrative offices. Therefore, a minimum twenty (20) parking spaces are required for the proposed use.

STANDARDS FOR COMPREHENSIVE LAND USE PLAN AMENDMENTS

Unified Development Code Section 4.1.3 Standards for CLUP amendment approval, provides the following criteria for consideration when evaluating a request for a change in land use:

A. The extent to which a change in the economy, land use or development opportunities of the area has occurred.

Response: Not applicable. Surrounding properties to the west, south and east have a future land use plan designation of 'Public, Institutional, Education' and are developed with institutional and educational uses.

B. The extent to which the proposed designation is in compliance with the goals and policies of the Plan.

Response: The applicant's proposal is consistent with the future land use designation and development of surrounding properties to the west, south and east.

C. The extent to which the proposed designation would require changes in the provision of public facilities and services.

Response: The applicant's proposal would not result in a significant demand on public facilities and services. The applicant proposes to change the use of the property from a day care center to an academic school for pre-K through 1st grade.

D. The extent to which the proposed designation would impact the public health, safety, and welfare.

Response: The proposed change in future land use designation is consistent with surrounding properties and would not negatively impact the public health, safety and welfare of residents in the area.

E. The extent to which additional land area is needed to be developed for a specific type of use.

Response: Not applicable.

F. The extent to which area demographics or projections are not occurring as projected.

Response: Not applicable.

STANDARDS FOR ZONING CHANGES

The Planning Commission and the City Council shall consider the following standards in considering a rezoning application, giving due weight or priority to those factors particularly appropriate to the circumstances of each application:

a. Whether the zoning proposal will permit a use that is suitable in view of the zoning use and development of adjacent and nearby property.

Response: The zoning proposal is consistent with surrounding properties which are primarily developed with institutional uses, such as schools and churches. The north side of Webb Bridge Road is developed with single-family homes and Webb Bridge Park.

b. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property.

Response: The zoning proposal would not adversely affect the existing use or usability of adjacent or nearby properties, which have also been developed with similar institutional uses.

c. Whether the zoning proposal will adversely affect the natural environment.

Response: The applicant's proposal should not adversely affect the natural environment. No additions or changes to the site are proposed.

d. Whether there are substantial reasons why the property cannot or should not be used as currently zoned.

Response: The subject property is zoned AG, which does not permit the previous use of the property as a day care center. Surrounding properties are primarily developed with similar institutional uses, such as schools and churches.

e. Whether the zoning proposal will result in a use that will or could cause an excessive or burdensome use of public facilities or services, including but not limited to existing streets and transportation facilities, schools, water or sewer utilities, and police or fire protection.

Response: The zoning proposal would not cause an excessive burden on public facilities and services. The applicant proposes to change the use of the property from a day care center to an academic school for pre-K through 1st grade.

f. Whether the zoning proposal is supported by new or changing conditions not anticipated or reflected in the existing zoning on the property.

Response: The zoning proposal represents an expansion of an existing private school. The previous use of the property as a day care center was a legal non-confirming use based on the zoning of the property.

g. Whether the zoning proposal reflects a reasonable balance between the promotion of the public health, safety, morality or general welfare against the right to unrestricted use of property.

Response: The zoning proposal reflects a reasonable balance. The applicant proposes to change the use of the property from a day care center to an academic school for pre-K through 1st grade.

h. Whether there are substantial reasons why the property cannot be used in accordance with existing zoning.

Response: The subject property is zoned AG, which does not permit the previous use of the property as a day care center. Surrounding properties are primarily developed with similar institutional uses, such as schools and churches.

i. The extent to which the zoning proposal is consistent with the Comprehensive Plan.

Response: The comprehensive land use plan designation of the property is 'Low Density Residential', of which an amendment is required to allow the proposed zoning.

CONCURRENCES

Staff has reviewed the applicant's proposal against the established review criteria for a comprehensive land use plan amendment and rezoning. The future land use change and rezoning are consistent with the surrounding development pattern, with properties primarily developed with similar institutional uses. If approved, conditions are recommended requiring landscape improvements and screening of outdoor play areas.

CITIZEN PARTICIPATION PLAN

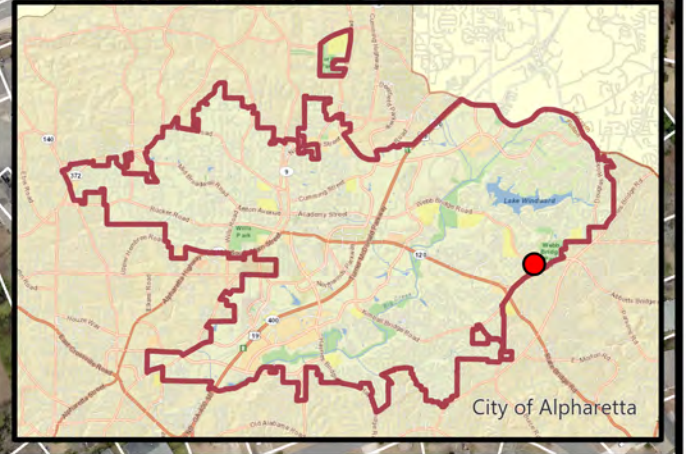
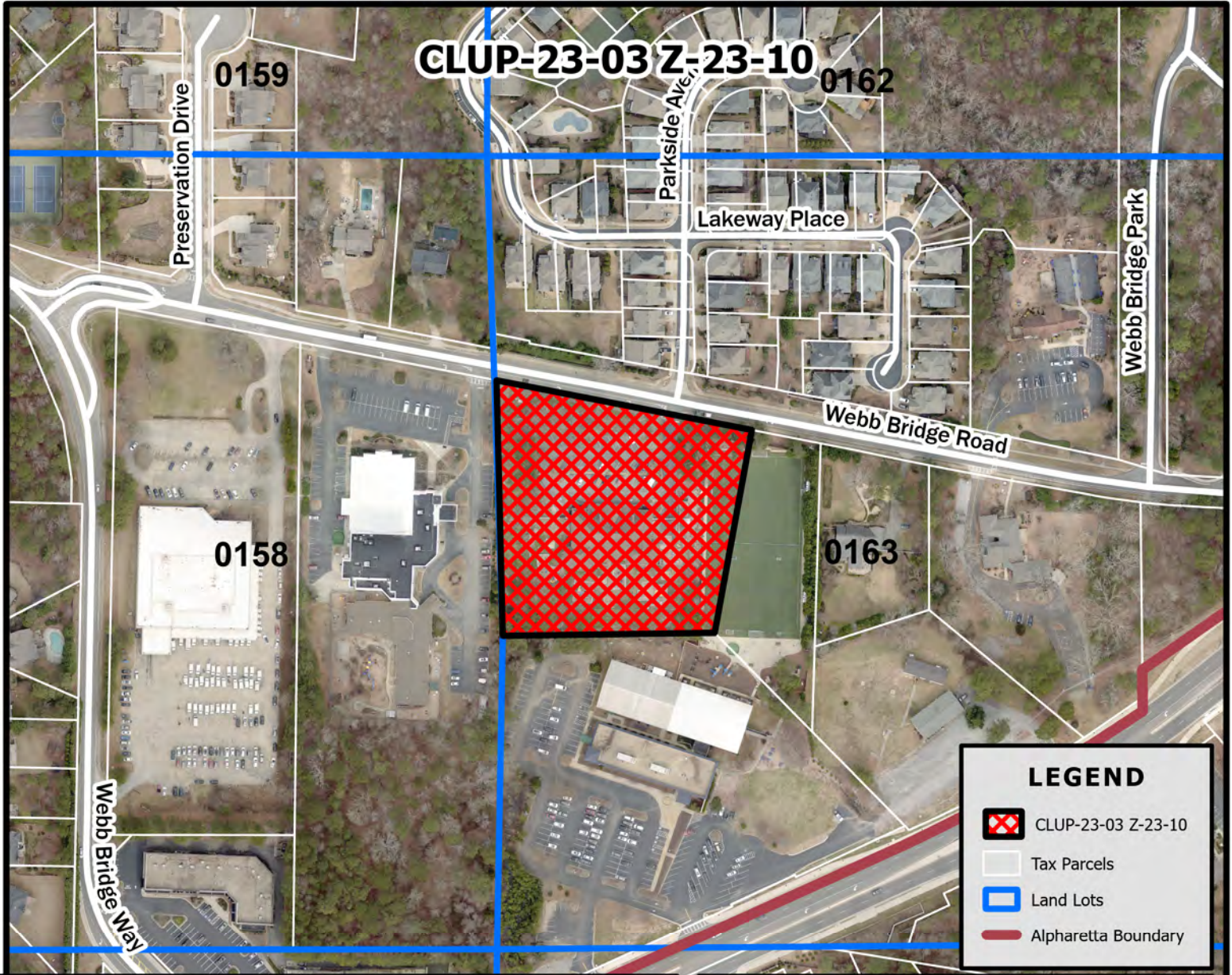
The report submitted by the applicant states that property owners within 500' were contacted regarding the applicant's intent. The report states that Radiant Church and an adjacent property owner provided letters of support. No other public comments were received.

COMMUNITY ZONING INFORMATION MEETING

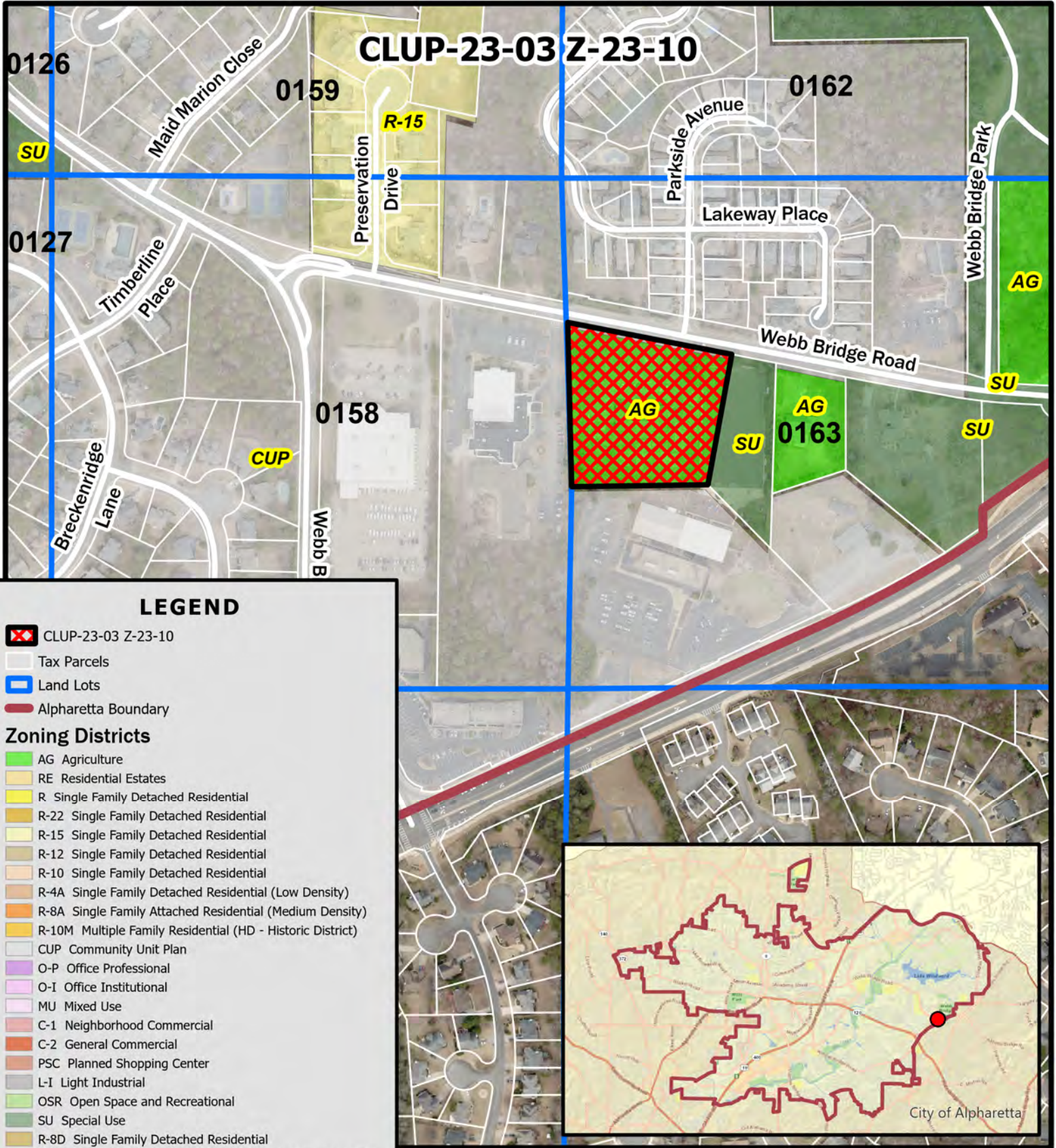
CZIM was held on July 12, 2023. There were no public comments.

IV. ATTACHMENTS:

- Aerial Map
- Zoning Map
- Future Land Use Map
- Location Map
- CZIM Sign In Sheet
- Citizen Part B
- Public Comment
- Application



CLUP-23-03 Z-23-10
D/LL: 1/1/0163
PC: 8/03/23
CC: 8/28/23



LEGEND

CLUP-23-03 Z-23-10

Tax Parcels

Land Lots

Alpharetta Boundary

Zoning Districts

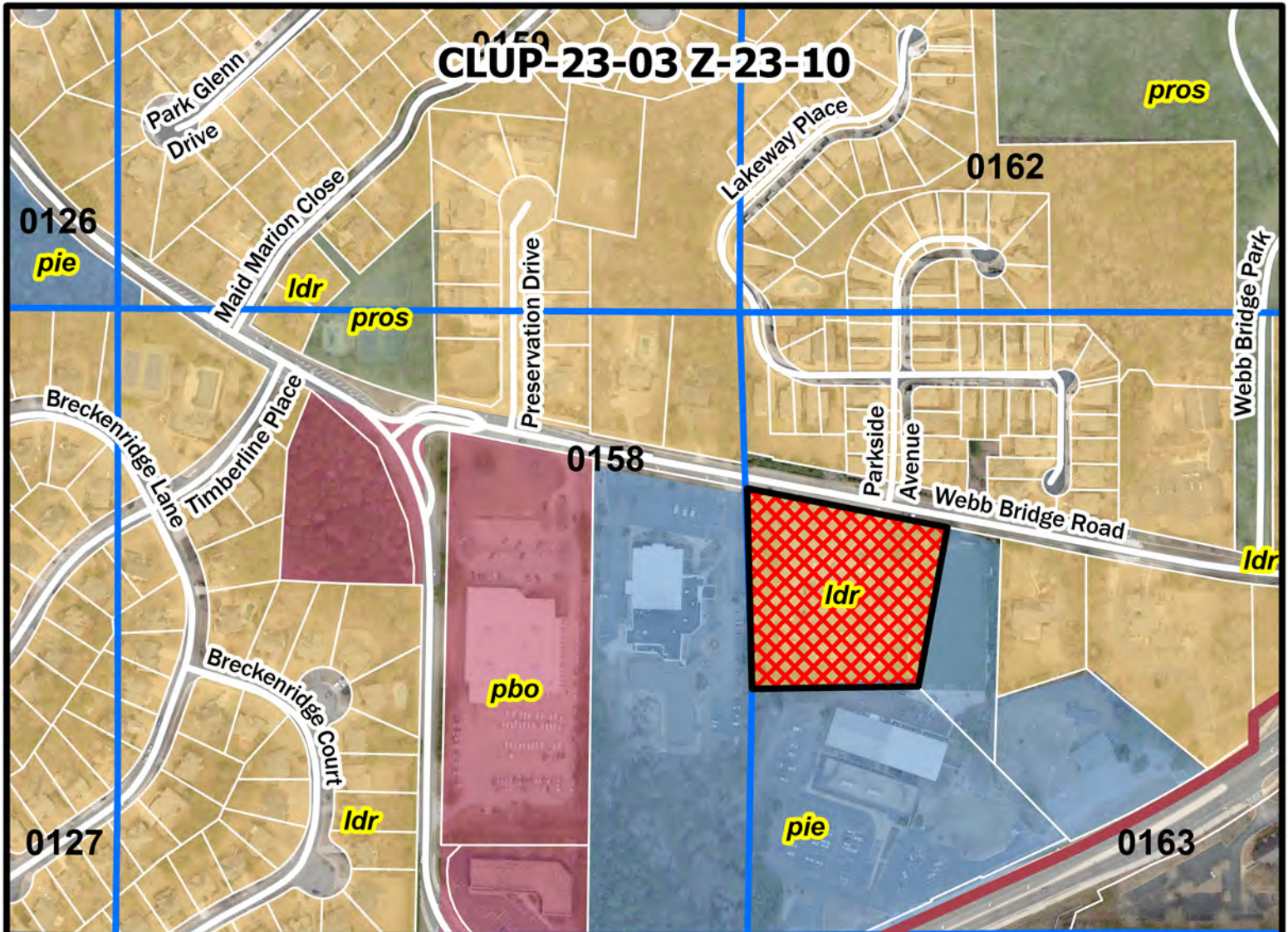
- AG Agriculture
- RE Residential Estates
- R Single Family Detached Residential
- R-22 Single Family Detached Residential
- R-15 Single Family Detached Residential
- R-12 Single Family Detached Residential
- R-10 Single Family Detached Residential
- R-4A Single Family Detached Residential (Low Density)
- R-8A Single Family Attached Residential (Medium Density)
- R-10M Multiple Family Residential (HD - Historic District)
- CUP Community Unit Plan
- O-P Office Professional
- O-I Office Institutional
- MU Mixed Use
- C-1 Neighborhood Commercial
- C-2 General Commercial
- PSC Planned Shopping Center
- L-I Light Industrial
- OSR Open Space and Recreational
- SU Special Use
- R-8D Single Family Detached Residential
- R-4D Single Family Detached Residential (Medium Density)
- R-8A/D Single Family Attached/Detached Residential
- DT-C Downtown Core
- DT-MU Downtown Mixed-Use
- DT-LW Downtown Live-Work
- DT-R Downtown Residential

CLUP-23-03 Z-23-10

D/LL: 1/1/0163

PC: 8/03/23

CC: 8/28/23



LEGEND

CLUP-23-03 Z-23-10

Tax Parcels

Land Lots

Alpharetta Boundary

2040 Future Land Use

Business, Manufacturing, Warehousing, Light Industrial

Central Business District

Commercial

Corporate Office

Downtown Residential Density

High Density Residential

Low Density Residential

Medium Density Residential

Mixed Use

Mixed Use Live Work

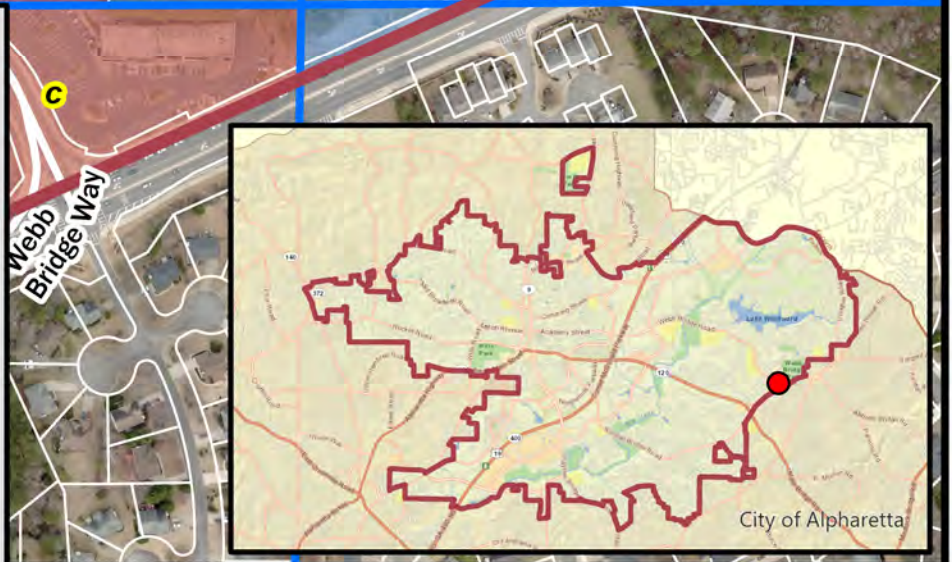
Parks, Recreation, Open Space

Professional Business Office

Public, Institutional, Education

Residential Estate

Very Low Density Residential

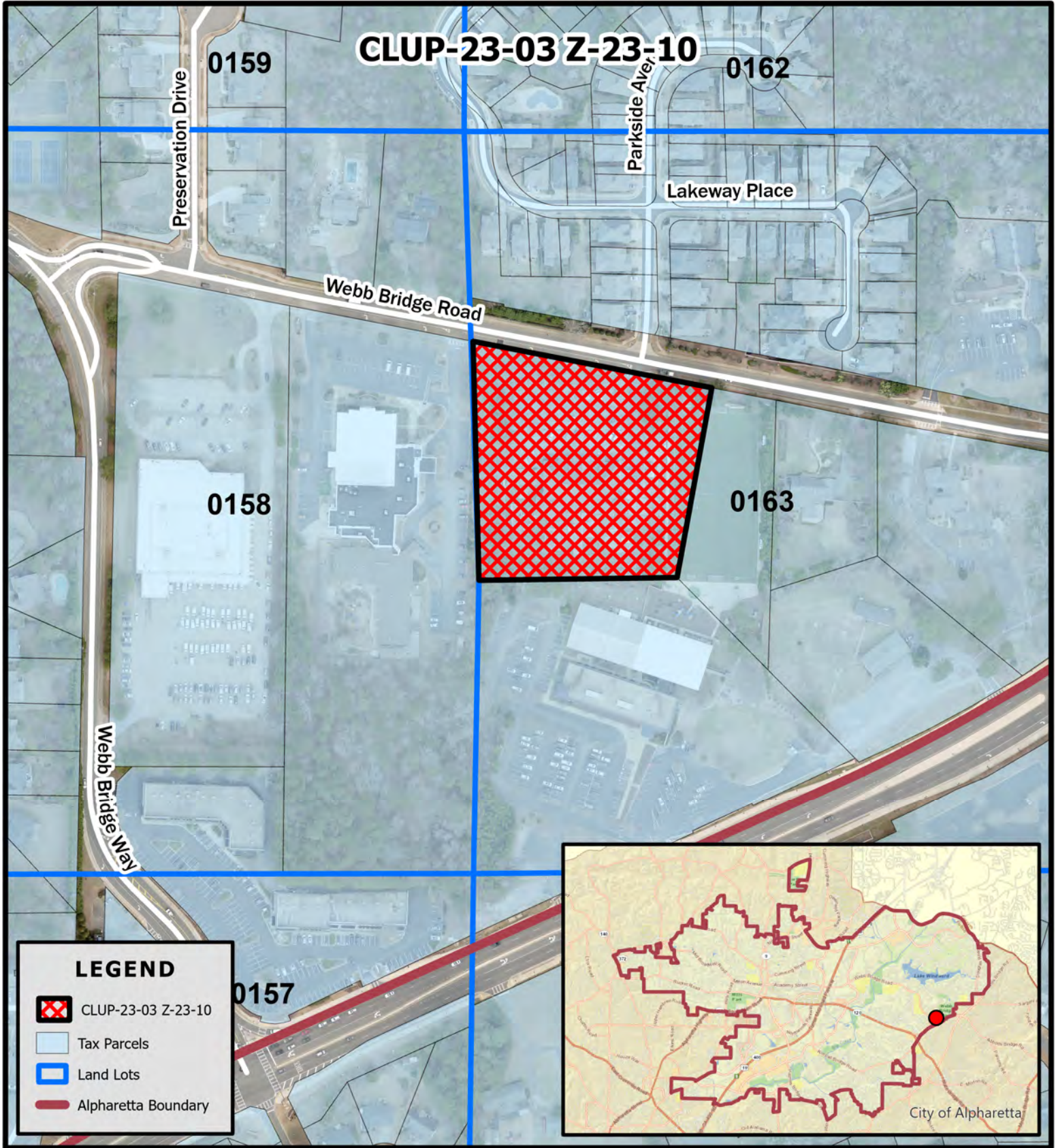


CLUP-23-03 Z-23-10

D/LL: 1/1/0163

PC: 8/03/23

CC: 8/28/23



CLUP-23-03 Z-23-10

D/LL: 1/1/0163

PC: 8/03/23

CC: 8/28/23

Location Map
Valor Christian Academy
4665 Webb Bridge Road

Location Map Provided by:
Community Development - GIS

Page 20 of 42

Community Zoning Information Meeting (CZIM)
Please sign-in and leave your comments and/or concerns.

July 12, 2023 

CLUP-23-03 / Z-23-10 / Valor Christian Academy

NAME	ADDRESS	COMMENTS
	No Comments	

CITIZEN PARTICIPATION FORM - PART B

This form must be completed and submitted to the City of Alpharetta Community Development Department a minimum of twenty (20) working days prior to the scheduled Public Hearing. Failure to do so will result in cancellation of the scheduled hearing.

Public Hearing or Project Name: CLUP-23-03 / Z-23-10 / CU-23-04 Valor Christian Academy

Contact Name: Jennifer Gastley Telephone: 770-751-1972

Please describe comments and concerns provided by any and all individuals contacted as part of the the Citizen Participation Program. If any individuals provided written correspondence, please attach copies of same to this report.

Valor Christian Academy contacted all persons and property owners within 500 fee of the property via a letter mailed through the USPS. The letter included information regarding the zoning request and contact information for questions or concerns regarding the proposal. Radiant Church wrote a letter of support and Dolleen Greg, a homeowner, wrote a letter of support. (See Attached). VCA received no concerns.

Method by which these individuals were contacted. Please mark all that apply. *Please provide samples of any and all written communications used to provide notification.*

- | | |
|---|---|
| ☒ Letter | ☐ Personal Visits |
| ☒ Telephone | ☐ Group Meeting |
| ☒ Email | ☐ Other (Please Specify) _____ |

Attach a list of people who have been notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified.

I, the undersigned, as an authorized representative of the applicant and Public Hearing item identified above, do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Citizen Participation Form - Part B and in any and all documents provided in support of this report are true and accurate. I further understand that any false statements provided by representatives of the applicant as part of this report may result in penalties up to and including denial of the subject application.

Signature of Authorized Agent: _____

Jennifer Gastley

Date: 7/12/2023

Print Form



June 19, 2023

Valor Christian Academy
4755 Kimball Bridge Road
Alpharetta, GA 30005

RE: Valor Christian Academy CLUP-23-03 / Z-23-10

Dear Property Owner:

Please allow this letter to serve as public notice for a comprehensive land use plan amendment and rezoning request at 4665 Webb Bridge Rd, Alpharetta, GA 30005 to allow an Academic School. Currently, the property is zoned Agricultural. Valor Christian Academy aims to utilize the current building for preschool-1st grade students.

The Community Zoning Information Meeting (CZIM) for this request will be held on Wednesday, July 12, 2023 at 6:00 PM in the Council Chambers in Alpharetta City Hall located at 2 Park Plaza, Alpharetta, GA 30009. This is an informal meeting to allow the public to view public hearing requests, ask questions, and provide feedback.

This item will be considered by the Planning Commission on Monday, August 3, 2023 at 6:30 PM and City Council on Monday, August 28, 2023 at 6:30 PM. The meeting(s) will be held in the Council Chambers at City Hall, 2 Park Plaza, Alpharetta, GA 30009.

If you have any questions regarding the request, please feel free to contact me at your convenience. I can be reached at jgastley@valorlions.org.

Sincerely,

A handwritten signature in cursive script that reads "Jennifer Gastley".

Jennifer Gastley
Head of School
Valor Christian Academy



4775 Kimball Bridge Rd
Alpharetta, GA 30005

To the Community Zoning Information Meeting,

I wanted to write a letter of support for Valor Christian Academy's request to rezone the property at 4665 Webb Bridge Rd, Alpharetta GA 30005 from agriculture to education. I believe their request to use this property for educational purposes is fully in line with what has been done there in the past and also makes good sense for the property itself.

Valor has been a great benefit to our community over the years in providing solid education, keeping up the premises, serving the larger community, and being a great neighbor. As both a nearby resident and business owner I fully support their request and hope the city will too.

If you have any questions or if I can be of further assistance please let me know.

Sincerely,

Keith Welton
Lead Pastor
Radiant Church

4755 Webb Bridge Road
Alpharetta GA 30005
July 6, 2023

Mrs. Jennifer Gastley
Valor Christian Academy
4755 Kimball Bridge Rd.
Alpharetta, GA 30005

Dear Jennifer,

I'm delighted to hear that Valor purchased Appletree Day School on Webb Bridge Road, which is west of me on Webb Bridge. The soccer field sits between my property and the day school. My children went to daycare in that building in the early 90s. I have fond memories of attending functions at the school.

As a long-time resident on Webb Bridge Road, I appreciate your response about my two concerns, one being no driveway between Kimball Bridge and Webb Bridge Roads, which is not part of your plan, and no electronic signage. Those were my only concerns. I look forward to our continued good neighbor relationship over the years to come.

Wishing Valor the best of luck in opening the new building! If you have an open house, I'd love to be invited.

Sincerely,



Doleen Gregg
4755 Webb Bridge Road
Alpharetta GA 30005
770-380-0419

From: [Borden, Brian](#)
To: [Bill Drmacich](#)
Cc: [Jackson, Tracy](#); [Woodman, Michael](#)
Subject: RE: Valor Christian Academy
Date: Thursday, June 29, 2023 1:13:13 PM

Bill,

They are intending to re-use the existing building. The building, as you know, was used for over a decade as a daycare facility. The Valor School intends to move their Pre-K through 2nd or 3rd grade to that building. I may be incorrect on those upper grades, but I believe it was 2nd/3rd grade. I know it was younger kids. They have not presented any intent on changing the footprint of the building, adding a new building or tearing down to rebuild.

Here's a link to the public hearing information here:

<https://www.alpharetta.ga.us/government/departments/community-development/public-hearings/details/clup-23-03-z-23-10-cu-23-04-valor-christian-academy>. There is a meeting scheduled Wed. July 12th for 6pm at City Hall if you would like an opportunity to speak with them directly about their intent. The July 12th meeting is the Community Zoning Information Meeting and gives you a chance to interact with them prior to it going to Planning Commission and City Council. So, it is a good chance to get any of your concerns addressed or questions answered.

Feel free to reach out with any further questions.

Take care,
Brian

Brian Borden
Zoning Administrator
Community Development, City of Alpharetta
2 Park Plaza, Alpharetta, Georgia 30009
Office: 678-297-6076

-----Original Message-----

From: Bill Drmacich <drmacich@gmail.com>
Sent: Thursday, June 29, 2023 12:56 PM
To: Borden, Brian <bborden@alpharetta.ga.us>
Subject: Valor Christian Academy

Hello, Brian. I live in Parkside Manor - across from this proposed development at 4665 Webb Bridge Road. How can I get more information on the plans for this proposal? I can't tell from the letter I received if they are building something new or just changing the use of the existing building.

Thank you -

Bill Drmacich

404.852.4301

CITY OF ALPHARETTA

PUBLIC HEARING APPLICATION

FOR OFFICE USE ONLY

Case #: PHA 230019

PH #: _____

☐ Property Taxes & Code Violations Verified

☒ Fee Paid Initial: JC

COMMUNITY DEVELOPMENT DEPARTMENT

2 PARK PLAZA

ALPHARETTA, GA 30009

1. This page should be the first page in each of your completed application packets.
2. It is preferred that all responses be typed. Illegible applications will not be accepted.
3. Prior to signing and submitting your application, please check all information supplied on the following pages to ensure that all responses are complete and accurate. Incomplete applications will not be accepted.
4. Payment of all applicable fees must be made at the time of application. Payment may be made via cash, credit card (American Express, Master Card or Visa), or check made payable to "City of Alpharetta." Please note that a 3% convenience fee will be added to all credit card transactions.
5. Applications will be accepted on the designated submittal dates between the hours of 8:30 AM and 3:30 PM.
6. If you have any questions regarding this form, please contact the Community Development Department by calling 678-297-6070.

Contact Information:

Contact Name: Jennifer Gastley

Telephone: 678-942-1126

Address: 4755 Kimball Bridge Road

Suite: _____

City Alpharetta

State: GA

Zip: 30005

Fax: _____

Mobile Tel: 913-378-7900

Email: jgastley@valorlions.org

Subject Property Information:

Address: 4665 Webb Bridge Road

Current Zoning: AG

District: 1st

Section: 1st

Land Lot: 163

Parcel ID: 11 -0450-0163-063-3

Proposed Zoning: o-p

Current Use: Day Care and Preschool

This Application For (Check All That Apply):

☒ Conditional Use

☐ Master Plan Amendment

☒ Comprehensive Plan Amendment

☒ Rezoning

☐ Master Plan Review

☐ Variance

☐ Public Hearing

☐ Exception

☐ Other (Specify): _____

APPLICANT REQUEST AND INTENT

What is the proposed use(s) of the property?

The existing building will remain and be used as a school, for PreK3, PreK4, Kindergarten and First Grade Students. The existing 11,699 square foot building will remain, no additions will be made. The school will accommodate approximately 100 students and 12 staff members. *HOURS OF OPERATION ARE 7:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY.*

Applicant's Request (Please itemize the proposal):

The property currently has a building on the site that is used as a pre-school and day care facility, and is zoned AG. Applicant is requesting a zoning change to O-P to allow an academic use on the property. *WE ARE REQUESTING A CONDITIONAL USE PERMIT FOR AN ACADEMIC SCHOOL. WE ARE REQUESTING A CHANGE TO THE FUTURE LAND USE TO PUBLIC, INSTITUTIONAL, EDUCATION.*

Applicant's Intent (Please describe what the proposal would facilitate):

The intent is to keep the existing 11,699 square foot building, 41 parking stalls including 2 ADA stalls, and site as existing to remain. The building will be brought up to code with the addition of a sprinkler system, new fire alarm system and new ADA restrooms. After the interior renovations, the intent is to use the building in a similar manner that it is currently used for. The property is zoned AG and has an existing day care and pre-school being operated on the property. The school will accommodate approximately 100 students and 15 staff members.

PROPERTY OWNER AUTHORIZATION

Property Owner Information:

Contact Name: Bridgeway Foundation for Education Telephone: 678-395-6772
Address: 4755 Kimball Bridge Road Suite: _____
City Alpharetta State: GA Zip: 30005

Authorization:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of Fulton County, Georgia, of the property identified below, which is the subject of the attached Application for Public Hearing before the City of Alpharetta, Georgia.

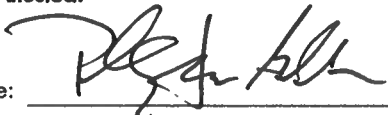
As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Public Hearing in request of the items indicated below.

- | | |
|--|---|
| ☐ Annexation | ☐ Special Use |
| ☒ Rezoning | ☒ Conditional Use |
| ☐ Variance | ☐ Master Plan |
| ☒ Land Use Application | ☐ Other |

Property Owner's Authorized Applicant (if applicable):

Name of Authorized Applicant: Jennifer Gastley Telephone: 913-378-7900
Address: 4755 Kimball Bridge Road Suite: _____
City Alpharetta State: GA Zip: 30005

So Sworn and Attested:

Owner Signature:  Date: 6/7/23

Notary:

Notary Signature:  Cynthia A Meyer
NOTARY PUBLIC
DeKalb County, GEORGIA
My Commission Expires 05/12/2026 Date: 6/7/23

DISCLOSURE FORM

The Official Code of Georgia Annotated requires disclosure of campaign contributions to government officials by an applicant or opponent of a rezoning or public hearing petition (O.C.G.A. 36-67 A-1).

Applicants must file this form with the City of Alpharetta Community Development Department within ten (10) days after filing for rezoning or public hearing. Opponents to a rezoning or public hearing petition must file this form five (5) days prior to the Planning Commission meeting at which the subject rezoning or public hearing petition is scheduled to be heard.

Name of Applicant or Opponent: N/A

Subject Public Hearing Case: _____

Campaign Contribution Information:

Please provide the requested information for each contribution with a dollar amount or value of \$250 or more made within the past two (2) years to an Alpharetta Official by the individual identified above. Please use a separate form for each Alpharetta Official to whom such a contribution as been made.

If the individual identified above has made no such contributions to an Alpharetta Official within the past two (2) years, please indicate this by entering "N/A" on the appropriate lines below.

Name of Official: N/A Position: N/A

Description of Contribution: N/A Value: \$0

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Campaign Contribution Information:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Disclosure Form is true and accurate and that I have disclosed herein any and all campaign contributions made to an Official of the City of Alpharetta, Georgia in accordance with O.C.G.A. 36-67 A-1.

Signature: _____



Date: 6/7/23

ALPHARETTA PLANNING COMMISSION REVIEW CRITERIA

How will this proposal be compatible with surrounding properties?

The building is currently in use as an existing day care and Georgia PreK program. The proposed new use is similar. The applicant owns the property to the south and operates a school on that property. The applicant owns the property to the east and uses it as a soccer field and sports field. The property to the west is a church which also has a day care program. The intended use will have approximately 100 students and 12 staff members.

How will this proposal affect the use and value of the surrounding properties?

The property is intended to be used in the same manner that it currently is being used.

Can the property be developed for a reasonable economic use as currently zoned? Please explain why or why not.

The property is already developed, has existing structures and uses that align with the intended use, no additions to the building are planned. The applicant does not understand how the existing facility was operating in the zoning that exists on the site, the current use has been the only use since prior to the land being annexed by the City. Current zoning, despite the existing use, does not allow academic use.

What would be the increase to population and traffic if the proposal were approved?

The population and traffic impacts would be similar to the existing use.

What would be the impact to schools and utilities if the proposal were approved?

The impacts would be similar to the existing use, there would be no impact to local schools, the intended use is for a Private School, it would not increase load on existing public schools. Utilities impacts would be similar to the existing use of the site.

How is the proposal consistent with the Alpharetta Comprehensive Plan; particularly the Future Land Use Map?

The FLM shows this property to be low density residential surrounded by public use and institutional. On the side of the street that this property is located rezoning this site to allow academic would make this site align more with the current and future land use. The site is not large enough for a neighborhood.

Are there existing or changing conditions which affect the development of the property and support the proposed request?

The existing site, is and has been operated as a day car and pre school since it was developed. This use aligns with the intended use by the applicant.

On a separate sheet or sheets, please provide any information or evidence that supports your request and the statements that you have provided in this application.

CITIZEN PARTICIPATION FORM - PART A

This form must be completed and submitted with the applicant's completed Public Hearing Application. Applications submitted to the City of Alpharetta without a completed Citizen Participation Form - Part A will not be accepted.

Public Hearing or Project Name: Valor North Rezoning

Contact Name: JENNIFER GASTLEY

Telephone: 913.378.7900

The following people will be notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified. Use additional pages as needed.

See Attached Mailing List

Method by which these individuals will be contacted. Please mark all that apply. *If you select "Other," please provide a description of the method of contact that will be used.*

- | | |
|--|---|
| ☒ Letter | ☐ Personal Visits |
| ☐ Telephone | ☐ Group Meeting |
| ☐ Email | ☐ Other (Please Specify) |

Please describe the method(s) by which these individuals will have the opportunity to respond or contact the applicant with questions or concerns about the proposal.

BAREL KARIN
11685 PARKSIDE AVE
ALPHARETTA GA 30005

YUE YANG & PENG CHI
4746 LAKEWAY PL
ALPHARETTA GA 30005

OLIVER PARTNERS LLC
625 WEST FOUNDERS PARK
HOOVER AL 35226

CERVERIZZO PATRICIA D
4783 LAKEWAY PL
ALPHARETTA GA 30005

LEE KIHUN & JUNG JA
4774 LAKEWAY PL
ALPHARETTA GA 30005

UNITED STATES POSTAL SERVICE
7050 OWENSMOUTH AVE # 206
CANOGA PARK CA 91303

CITY OF ALPHARETTA
2 SOUTH MAIN ST SE STE 650
ALPHARETTA GA 30004

PARKSIDE MANOR HOMEOWNERS ASSN INC
500 SUGAR MILL RD BLDG/STE B/200
SANDY SPRINGS GA 30350

JANAS PAULA M
4590 WEBB BRIDGE RD
ALPHARETTA GA 30005

YALAMARTHY RAVI & ALUVALA SRAVANTHI
11653 PARKSIDE AVE
ALPHARETTA GA 30005

LEE JONG H & ANDREW JAESUNG KIM
4743 LAKEWAY PL
ALPHARETTA GA 30005

TIMMONS TIMOTHY D
4600 WEBB BRIDGE RD
ALPHARETTA GA 30005

MAHZARI MILAD & SHIRIN
4747 LAKEWAY PL
ALPHARETTA GA 30005

SUNSHINE TRUST THE
11636 PARKSIDE AVE
ALPHARETTA GA 30005

CHRIST THE SHEPHERD LUTHERAN CHURC
H INC
4655 WEBB BRIDGE RD
ALPHARETTA GA 30201

HAN KI Y
4754 LAKEWAY PL
ALPHARETTA GA 30005

HUGUES STEVEN C & KAREN M
4750 LAKEWAY PL
ALPHARETTA GA 30005

OLIVER PARTNERS LLC
4772 WEBB BRIDGE RD
ALPHARETTA GA 30005

MA LIXUAN & WANG JIONG
4778 LAKEWAY PL
ALPHARETTA GA 30005

KIM CHAN UNG & I SOON
4782 LAKEWAY PL
ALPHARETTA GA 30005

CHOWDHURY ENAMUL A & CHOWDHURY SUH
ELA G
11664 PARKSIDE AVE
ALPHARETTA GA 30005

MONDAL LOKESH & MONDAL MANISHA
11632 PARKSIDE AVE
ALPHARETTA GA 30005

PARKSIDE MANOR HOMEOWNERS ASSN INC
500 SUGAR MILL RD STE 200B
SANDY SPRINGS GA 30350

LEE SANG MIN & KIM SOOYEON
4714 LAKEWAY PL
ALPHARETTA GA 30005

REAVES DAVID W & REAVES REBECCA L
11644 PARKSIDE AVE
ALPHARETTA GA 30005

BRIDGEWAY FOUNDATION FOR EDUCATION
INC
4755 KIMBALL BRIDGE RD
ALPHARETTA GA 30005

DRMACICH WILLIAM J & MARY K
11660 PARKSIDE AVE
ALPHARETTA GA 30005

GILL DERICK & GILL SHANNON
4758 LAKEWAY PL
ALPHARETTA GA 30005

NEELAKANTAN RAHUL & PAWAR DEEPTI L
AKSHMIKANTHARAO
8005 PRESERVATION DR
ALPHARETTA GA 30005

GULATI SUJOY
4702 LAKEWAY PL
ALPHARETTA GA 30005

MILLS GREGORY L & LESA R
4726 LAKEWAY PL
ALPHARETTA GA 30005

NITASHA FNU & GUPTA BHARAT
11633 PARKSIDE AVE
ALPHARETTA GA 30005

DEUSKAR SUDARSHAN & DEUSKAR MADHAVI
11652 PARKSIDE AVE
ALPHARETTA GA 30005

ALMEIDA HENRY BERGER DE & EMILLENE
G
11656 PARKSIDE AVE
ALPHARETTA GA 30005

RUSSELL ROBERT T & RUSSELL LISA M
11657 PARKSIDE AVE
ALPHARETTA GA 30005

THURMAN HOWARD KEITH & THURMAN MARY
ANGELA
4718 LAKEWAY PL
ALPHARETTA GA 30005

MURPHY MICHAEL S & LORI E
11689 PARKSIDE AVE
ALPHARETTA GA 30005

PARKSIDE MANOR HOMEOWNERS ASSN INC
500 SUGAR MILL RD BLDG B
SANDY SPRINGS GA 30350

BARROSO JOSE & OLIVER MARTA I
11661 PARKSIDE AVE
ALPHARETTA GA 30005

CAPELLAN JOAN & REINOSO JENNIFFER
TORRES
11668 PARKSIDE AVE
ALPHARETTA GA 30005

GREGG LINDA DOLEEN
4755 WEBB BRIDGE RD
ALPHARETTA GA 30005

PARKSIDE MANOR HOMEOWNERS ASSN INC
500 SUGAR MILL RD BLDG/STE B/200
SANDY SPRINGS GA 30350

PARKSIDE MANOR HOMEOWNERS ASSN INC
500 SUGAR MILL RD BLDG B
SANDY SPRINGS GA 30350

BRIDGEWAY FOUNDATION FOR EDUCATION
INC
4755 KIMBALL BRIDGE RD
ALPHARETTA GA 30005-4502

SHI LIANG & WU HONG
11637 PARKSIDE AVE
ALPHARETTA GA 30005

ENGLISH DAVID A & ENGLISH SUSAN M
4706 LAKEWAY PL
ALPHARETTA GA 30005

CRONIN LES JOSEPH & CRONIN MARGARET
8015 PRESERVATION DR
ALPHARETTA GA 30005

GARCIA VILLA PABLO & MARIA R
4786 LAKEWAY PL
ALPHARETTA GA 30005

PARKSIDE MANOR HOMEOWNERS ASSOCIATION
INC
1465 NORTHSIDE DR NW STE 128
ATLANTA GA 30318

BRIDGEWAY BAPTIST CHURCH INC
4755 KIMBALL BRIDGE RD
ALPHARETTA GA 30005-4502

POLAKAM VENKATA
4770 LAKEWAY PL
ALPHARETTA GA 30005

ARUMUGAM KAMALRAJ & THANGAVEL USHA
11673 PARKSIDE AVE
ALPHARETTA GA 30005

AGINCOURT PROPERTIES LLC
P.O. BOX 920
LAKE OSWEGO OR 97034

STANFORD ROBERT N
4762 LAKEWAY PL
ALPHARETTA GA 30005

SONG RICHARD C
4751 LAKEWAY PL
ALPHARETTA GA 30005-2418

PARKSIDE MANOR HOMEOWNERS ASSOCIATION
INC
1465 NORTHSIDE DR NW STE 128
ATLANTA GA 30318

LYNAM BRIAN A & LYNAM CORA
4742 LAKEWAY PL
ALPHARETTA GA 30005

OSBORNE MICHAEL M OSBORNE MARGARET
H.
4787 LAKEWAY PL
ALPHARETTA GA 30005

MOSINDI GLORY I & MOSINDI CHUKA MI
CHAE
11693 PARKSIDE AVE
ALPHARETTA GA 30005

SONG QIANG & YANG MIN
4723 LAKEWAY PL
ALPHARETTA GA 30005

BUSCH THOMAS & BUSCH ASHLEY U
4763 LAKEWAY PL
ALPHARETTA GA 30005

HO PING Y & LIM CHENG L
4719 LAKEWAY PL
ALPHARETTA GA 30005

LEGRAND HEATH W LEGRAND MELANIE L
4727 LAKEWAY PL
ALPHARETTA GA 30005

BURAS MICHAEL A & CHRISTINE F
11645 PARKSIDE AVE
ALPHARETTA GA 30005

THOMAS MICHAEL E & TAMMY K
11641 PARKSIDE AVE
ALPHARETTA GA 30005

SHVARTSMAN FELGIN TRUST THE
4779 LAKEWAY PL
ALPHARETTA GA 30022

NAMBIAR PRAKASH & NARAYANAN MEERA
KUNNIYUR
11640 PARKSIDE AVE
ALPHARETTA GA 30005

GREAT HORIZONS LLC
4665 WEBB BRIDGE RD
ALPHARETTA GA 30005

VALOR CHRISTIAN ACADEMY
LOWER SCHOOL BUILDING CONVERSION

4665 WEBB BRIDGE ROAD
ALPHARETTA, GEORGIA 30005

VALOR CHRISTIAN ACADEMY
4755 Kimball Bridge Road, Alpharetta, Georgia 30005

Ponder & Ponder, Architects

3000 Langford Road | Building 200 | Peachtree Corners, GA 30071 | Ph:770.449.8860 Fax: 770.449.8861

: PROJECT

: LOCATION

: DEVELOPER

: ARCHITECT

PROJECT DATA

PROJECT DATA: VALOR CHRISTIAN ACADEMY LOWER SCHOOL

NAME OF PROJECT: CONVERSION
ADDRESS: 4665 WEBB BRIDGE ROAD
ALPHARETTA, GA 30005

DEVELOPER: VALOR CHRISTIAN ACADEMY
4755 KIMBALL BRIDGE ROAD
ALPAHRETTA, GA 30005
PHONE: 770.751.1972

PROJECT TYPE: CONVERSION OF A DAY CARE FACILITY
INTO A SCHOOL BUILDING

OCCUPANCY GROUP: EDUCATION GROUP E

PROPOSED USE: PRE-K THROUGH FIRST GRADE SCHOOL BUILDING
OCCUPANCY LOAD: 401 SEE SHEET A-1.0

DESIGN CODES:

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL FIRE CODE
2010 ADA CODE
2020 NATIONAL ELECTRIC CODE--2020/2021 GA STATE AMENDMENTS
2018 INTERNATIONAL FIRE CODE
2018 LIFE SAFETY CODE
2019 NFPA 13 CODE
NATIONAL FIRE ALARM & SIGNALING CODE

DESIGNER OF RECORD

DESIGNER	NAME	GA LICENSE #	TELEPHONE #
ARCHITECTURAL	ROBERT W. PONDER	6327	770.449.8860

BUILDING DATA:

CONSTRUCTION TYPE: CONVERTING TO BE SPRINKLERED
SEPARATION: 0 HOUR
ALLOWBLE HEIGHT: 60'
PROPOSED HEIGHT: EXISTIGN SINGLE STORY WITH PITCHED ROOF
ALLOWABLE AREA: 11,669 CONDITIONED SQ.FT
ALLOWBLE STORIES: 1 STORY
NUMBER OF STORIES: 1 STORY
MEZZANINE: NO
HIGH RISE: NO

FIRE RESISTANCE RATINGS

WALL TYPE	RATING	DETAIL #	UL DESIGN #
PARTY/FIREWALLS:	0 HOUR		
EXTERIOR BEARING WALLS:	0 HOUR		
EXTERIOR NON-BEARING WALLS:	0 HOUR		
INTERIOR BEARING WALLS:	0 HOUR		
INTERIOR NON-BEARING WALLS:	0 HOUR		
STEEL ROOF COLUMNS:	0 HOUR		
STEEL ROOF BEAMS:	0 HOUR		
ROOF ASSEMBLY:	0 HOUR		
COLUMNS:	0 HOUR		

LIFE SAFETY SYSTEM: (NFPA 92 | NFPA 101)

EMERGENCY LIGHTING AND EXIT SIGNS
PANIC HARDWARE
BUILDING WILL BE CONVERTED TO FULLY SPRINKLERED
AUTOMATIC FIRE ALARM SYSTEM IN COMPLIANCE WITH LIFE SAFETY CODE

EXIT REQUIREMENTS:

DEAD END LIMIT-MAXIMUM ALLOWED 20'-0"
TRAVEL DISTANCE TO EXIT-MAXIMUM ALLOWED = 150'-0"
NUMBER OF EXITS REQUIRED = 2
NUMBER OF EXITS PROVIDED = 8

SIGNS:

SIGNS ARE NOT APPROVED WITHIN THE SCOPE OF THIS PERMIT. A
SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN

PROJECT SCOPE:

CONVERSION OF AN EXISTING DAY CARE FACILITY INTO A SCHOOL
BUILDING FOR PRE-K3, PRE-K4, KINDERGARTEN AND FIRST GRADE
STUDENTS.

ADDITION OF A FULLY AUTOMATIC SPRINKLER SYSTEM

MODIFICATION OF THE EXISTING FIRE ALARM SYSTEM TO ACCOMMODATE
NEW DEVICES, FULLY ADDRESSABLE DEVICES AND MONITORING

MODIFICATION OF THE EXISTING ADA BATHROOMS TO COMPLY WITH THE
2010 ADA CODE.

REPLACEMENT OF DOOR HANDLES AS NEEDED TO PROVIDE LEVER STYLE
HANDLES THROUGHOUT

COSMETIC WORK INCLUDING PAINTING AND NEW FLOORING IN THE EXISTING
ADA RESTROOMS

ENGINEERED SPRINKLER SYSTEM DRAWINGS MUST BE SUBMITTED TO THE
CITY OF ALPHARETTA AND THE FIRE MARSHAL FOR REVIEW.

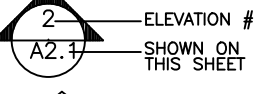
ENGINEERED FIRE ALARM SYSTEM DRAWINGS MUST BE SUBMITTED TO THE
CITY OF ALPHARETTA AND THE FIRE MARSHAL FOR REVIEW.

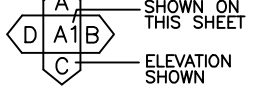
ABBREVIATIONS

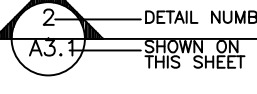
@	AT	I.D.	IDENTIFICATION
ε	AND	INSUL.	INSULATION
A.B.	ANCHOR BOLT	INT.	INTERIOR
A.C.	ACOUSTICAL TILE	JAN.	JANITOR
A/C	AIR CONDITIONING	JT.	JOINT
ACOUST.	ACOUSTICAL	LAM.	LAMINATED
ADJ.	ADJUSTABLE	LAV.	LAVATORY
A.F.F.	ABOVE FINISH FLOOR	LT.	LIGHT
AL.	ALUMINUM*	MACH.	MACHINE
ALUM.	ALUMINUM	MAINT.	MAINTENANCE
APPROX.	APPROXIMATE	MAX.	MAXIMUM
AUTO.	AUTOMATIC	MECH.	MECHANICAL
B.F.	BARRIER FREE	MIN.	MINIMUM
B.K.	BLOCK	MISC.	MISCELLANEOUS
B.M.	BEAM	M.R.	MOISTURE RESISTANT
BOT.	BOTTOM	M.T.	METAL THRESHOLD
CA.	CARPET	MTD.	MOUNTED
CAB.	CABINET	MTL.	METAL
C.J.	CONSTRUCTION JOINT	N.C.	NON COMBUSTIBLE
CL.	CENTERLINE	N.I.C.	NOT IN CONTRACT
CLG.	CEILING	N.T.S.	NOT TO SCALE
CLR.	CLEAR	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	O.F.	OUTSIDE FACE
C.O.	CLEAN OUT	O.F./C.I.	OWNER FURNISHED/ CONTRACTOR INSTALLED
COL.	COLUMN	O.F./O.I.	OWNER FURNISHED/ OWNER INSTALLED
CONC.	CONCRETE	PA.	PAINT*
CONT.	CONTINUOUS	PF.	PREFINISHED
C.T.	CERAMIC TILE	P.L.	PLASTIC LAMINATE
C.F./C.I.	CONTR. FURN./ CONTR. INSTALLED	PLT.	PLATE
C.F./O.I.	CONTR. FURN./ OWNER INSTALLED	PREH.	PREHUNG
DBL.	DOUBLE	P.T.	PRESSURE TREATED
DIAG.	DIAGONAL	PWD.	PLYWOOD
DIA.	DIAMETER	Q.T.	QUARRY TILE
DIM.	DIMENSION	R.	RISER
DISP.	DISPENSER	R.B.	RESILIENT BASE
DN.	DOWN	REF.	REFERENCE
DR.	DOOR	REFL.	REFLECTED
DRK.	DARK	RESIST.	RESISTANT
D.S.	DOWNSPOUT	R.D.	ROOF DRAIN
DTL.	DETAIL	RM.	ROOM
DWG.	DRAWING	R.S.	RELIEF SCUPPER
EA.	EACH	R/W	RIGHT OF WAY
E.B.	EXPANSION BOLT	S.B.	SUPPORT BARS
E.F.	EACH FACE	S.C.	SOLID CORE
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	SHT.	SHEET
E.J.	EXPANSION JOINT	SIM.	SIMILAR
ELEV.	ELEVATION	SPEC.	SPECIFICATION
ELEV.	ELEVATOR	SPKL.	SPRINKLER
EQ.	EQUAL	SPL.	SPLASH
EQUIP.	EQUIPMENT	SQ.	SQUARE
EXIST.	EXISTING	SS	STAINLESS STEEL*
EXP.	EXPOSED	ST.	STAIN
EXT.	EXTERIOR	STL.	STEEL
F.E.	FIRE EXTINGUISHER	STOR.	STORAGE
F.E.C.	FIRE EXTING. CABINET	SUSP.	SUSPENDED
F.O.B.	FACE OF BRICK	SP.	STANDPIPE
F.O.C.	FACE OF CONCRETE	SW	SIDEWALK
F.O.M.	FACE OF MASONRY	TEL.	TELEPHONE
F.D.	FLOOR DRAIN	TEXT.	TEXTURE
F.F.	FINISH FLOOR	THR.	THRESHOLD
F.G.	FINISH GRADE	T.O.B.	TOP OF BEARING
FIN.	FINISH	T.O.C.	TOP OF CONCRETE
FLR.	FLOOR	T.O.P.	TOP OF PAVING
FR.	FRAME	T.O.S.	TOP OF SLAB
F.O.S.	FACE OF STUD	T.O.W.	TOP OF WALL
FR.	FIRE RESISTANT	T.P.	TOILET PAPER
FRTW	FIRE RETARDENT TREATED WOOD	TR.	TREAD
F.V.	FIELD VERIFY	TYP.	TYPICAL
GA.	GALVE	U.N.O.	UNLESS NOTED OTHERWISE
G.I.	GALVANIZED IRON	VERT.	VERTICAL
GL.	GLASS	V.C.T.	VINYL COMPOSITION TILE
GpDw	GYPSPUM DRYWALL	VEST.	VESTIBULE
H.B.	HOSE BIBB	V.W.C.	VINYL WALL COVERING
H.C.	HOLLOW CORE	W.	WIDTH
HD.	HEAD	W/	WITH
H.D.	HUB DRAIN	W.C.	WATER CLOSET
HDWR.	HARDWARE	WC.	WALLCOVERING*
H.M.	HOLLOW METAL	WD.	WOOD
HORIZ.	HORIZONTAL	W.H.	WALL HYDRANT
HT.	HEIGHT	W.R.	WATER RESISTANT
		W.W.F.	WELDED WIRE FABRIC

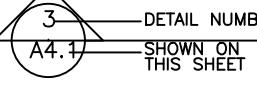
REFERENCE SYMBOLS

 NORTH ARROW

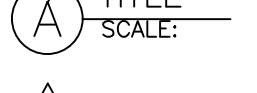
 EXTERIOR ELEVATION

 INTERIOR ELEVATION

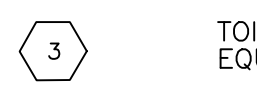
 BUILDING SECTION

 WALL SECTION

 DETAIL REFERENCE

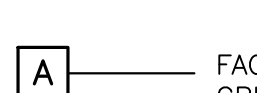
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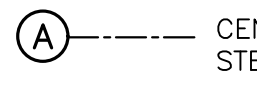
 WINDOW TYPES

 ROOM NUMBER

 TOILET ACCESSORIES
EQUIPMENT NUMBER

 DOOR NUMBER

 CEILING FINISH /
CEILING HEIGHT

 DATUM ELEVATION

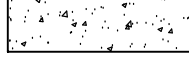
 FACE OF MASONRY
GRIDLINE

 CENTER OF MASONRY/
STEEL GRIDLINE

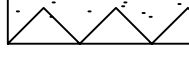
 REVISION / REISSUE

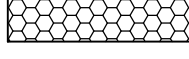
MATERIALS

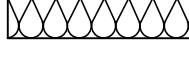
 BRICK

 CONCRETE

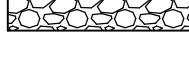
 CONCRETE MASONRY
UNIT ("C.M.U.")

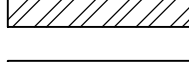
 METAL LATH & STUCCO

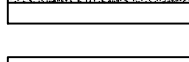
 RIGID INSULATION

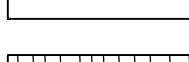
 BATT INSULATION

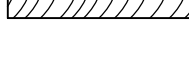
 EARTH

 GRAVEL

 METAL
FERROUS STEEL

 GYPSUM BOARD
SHOWN IN SECTION

 PLYWOOD

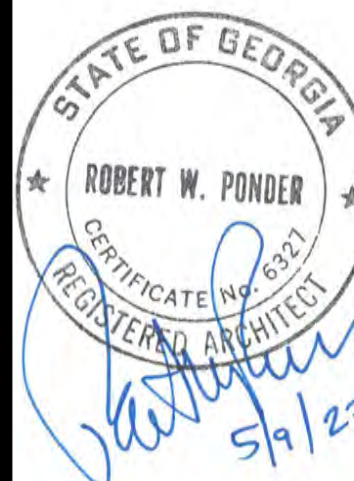
 FINISH WOOD

DRAWING INDEX

COVER-1 PROJECT COVER SHEET

ARCHITECTURE:

A-1.0 LIFE SAFETY PLAN
A-1.1 FLOOR PLAN
A-1.2 REFLECTED CEILING PLAN

[illegible]

Owner:

VALOR
CHRISTIAN
ACADEMY

4755 Kimball Bridge Rd
Alpharetta GA 30005

Project:
VALOR
CHRISTIAN
ACADEMY
LOWER SCHOOL
CONVERSION

4665 Webb Bridge Rd
Alpharetta, GA 30005

LIFE SAFETY PLAN

PERMIT DRAWINGS

job no.: 23012

date: 05.09.23

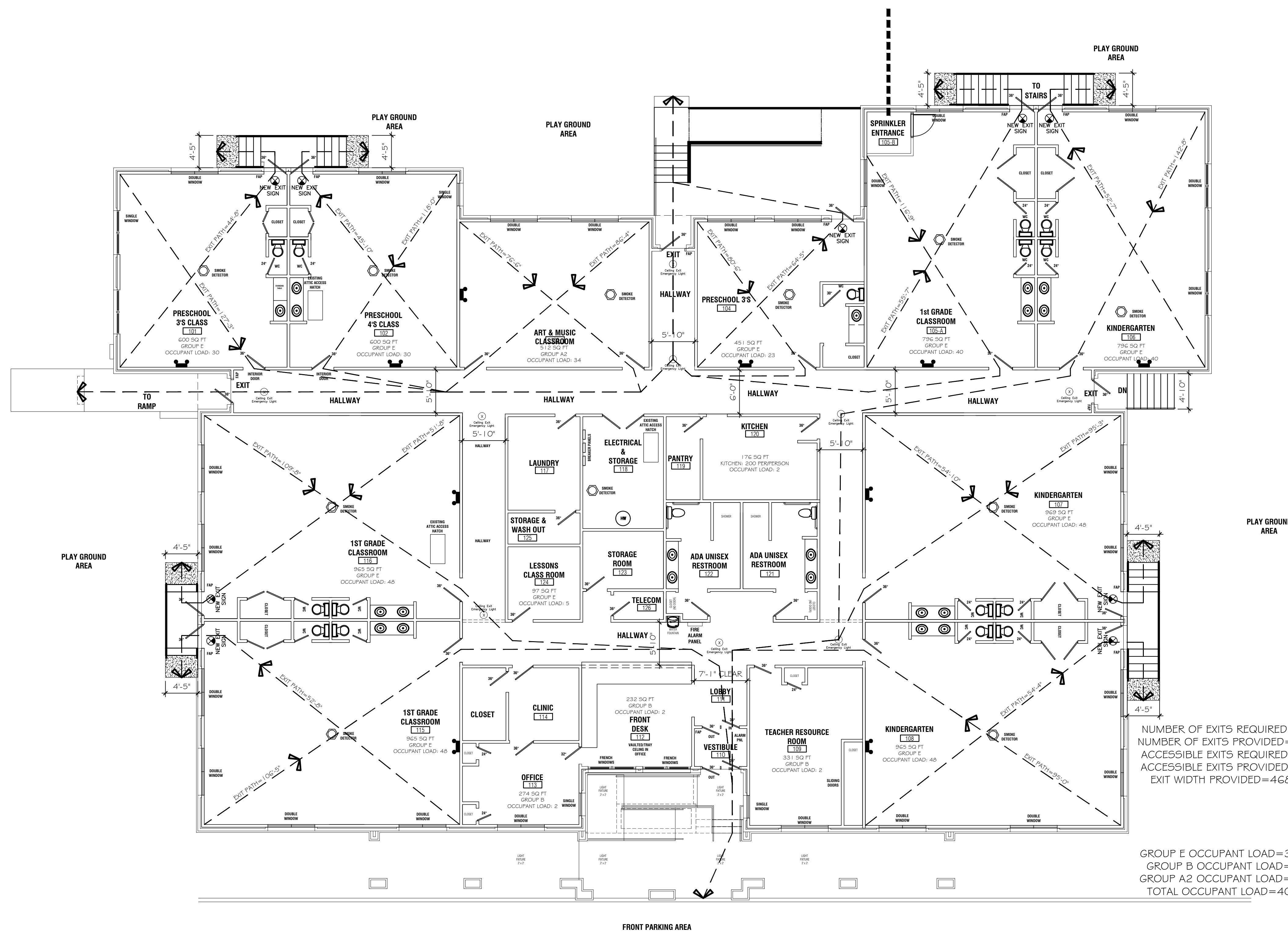
by: T.E.R.

app: R.W.P.

file name: A-1.0

sheet no.:

A-1.0



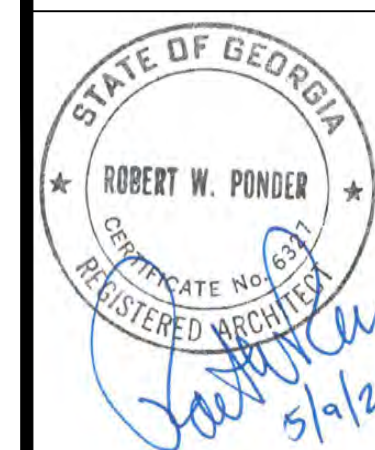
NUMBER OF EXITS REQUIRED=2
NUMBER OF EXITS PROVIDED=12
ACCESSIBLE EXITS REQUIRED=2
ACCESSIBLE EXITS PROVIDED=2
EXIT WIDTH PROVIDED=468"

GROUP E OCCUPANT LOAD=360
GROUP B OCCUPANT LOAD=6
GROUP A2 OCCUPANT LOAD=34
TOTAL OCCUPANT LOAD=401

LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

JOB NORTH
TRUE NORTH

[illegible]

VALOR
CHRISTIAN
ACADEMY

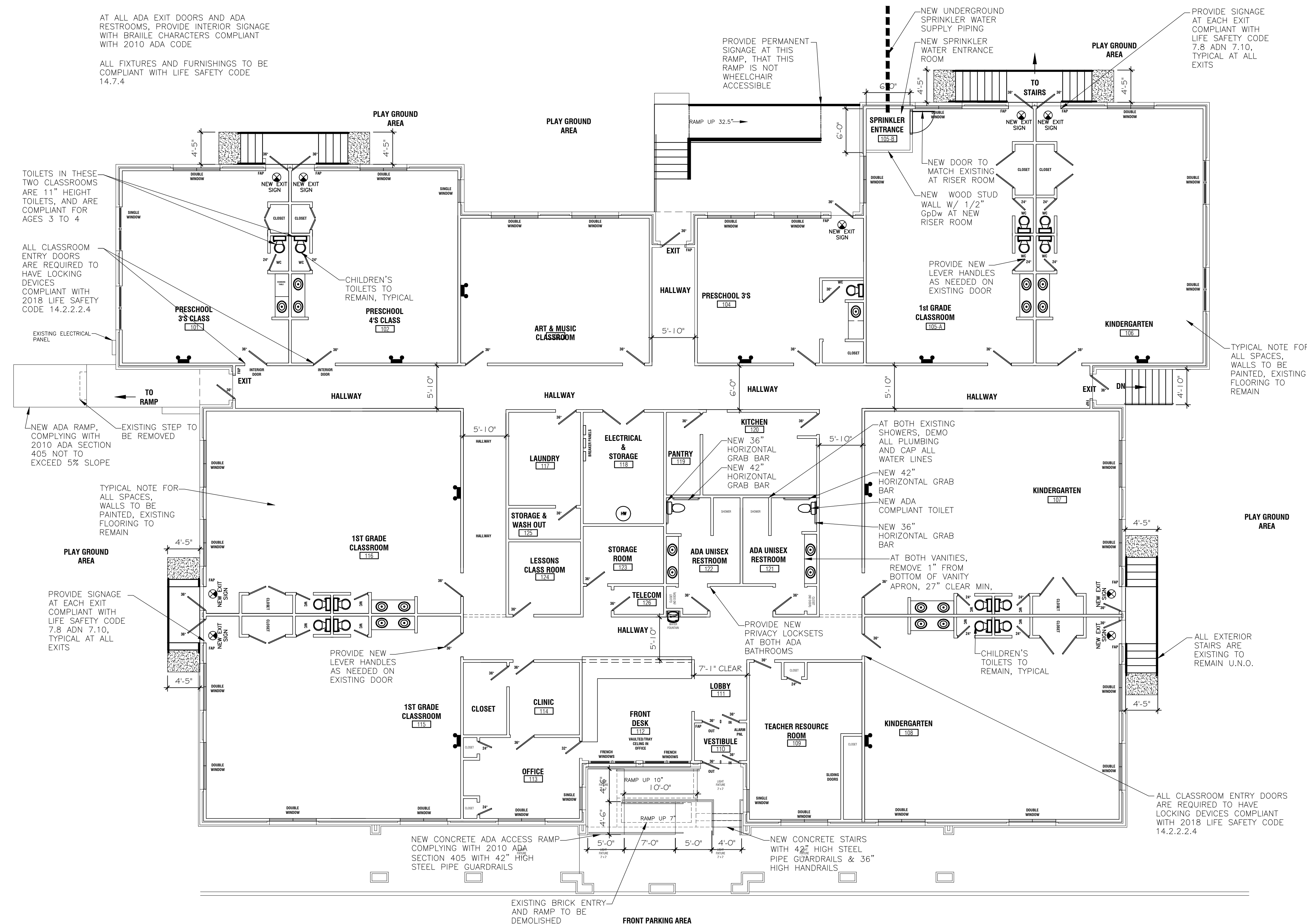
Project:
VALOR
CHRISTIAN
ACADEMY
LOWER SCHOOL
CONVERSION

FLOOR
PLAN

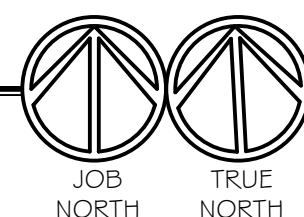
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date:	05.09.23
by:	T.E.R.
app:	R.W.P.
file name:	A-1.1
sheet no.:	

A-1.1

BUILDING FIRE ALARM SYSTEM
TO BE UPDATED AND MODIFIED
AS NEEDED. DRAWINGS TO BE
PROVIDED BY FIRE ALARM
CONTRACTOR



FLOOR PLAN
SCALE: 1/8" = 1'-0"



VALOR
CHRISTIAN
ACADEMY

4755 Kimball Bridge Rd
Alpharetta GA 30005

Project:
VALOR
CHRISTIAN
ACADEMY
LOWER SCHOOL
CONVERSION

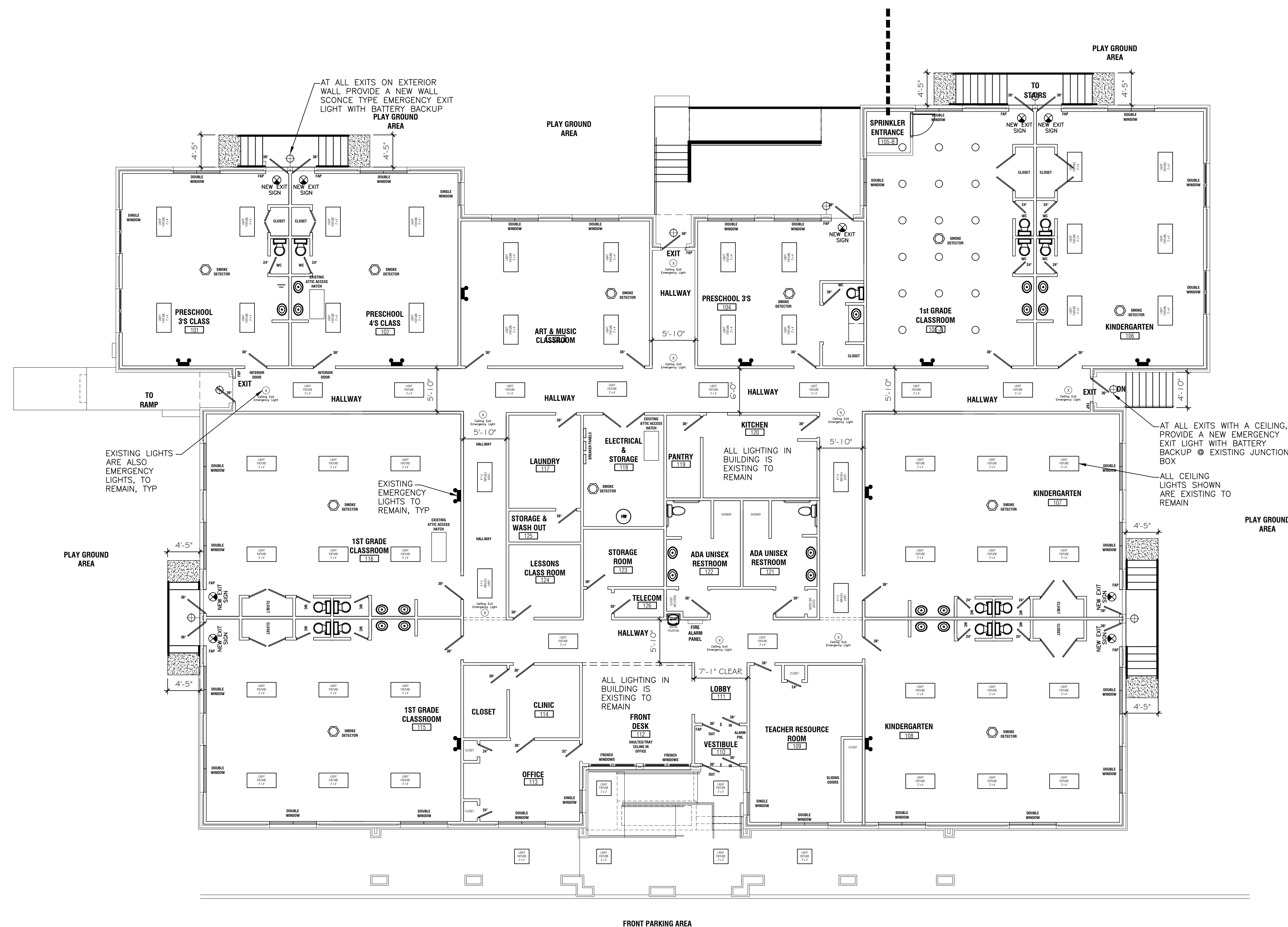
4665 Webb Bridge Rd
Alpharetta, GA 30005

REFLECTED
CEILING
PLAN

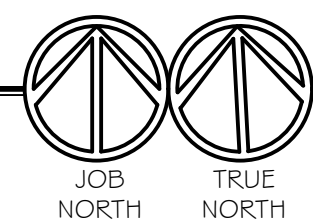
PERMIT DRAWINGS

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by:	T.E.R.
app:	R.W.P.
file name:	A-1.2
sheet no.:	

A-1.2



REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



Real Estate Bill Details

Code Enforcement | Code Enforc

open-alpharetta.opendata.arcgis.com/datasets/code-enforcement/explore?location=34.063086%2C-84.273100%2C13.91&showTable=true

Travis Rhoads Phot...B&H PhotoSpeedtest.net - The...Artlist.io - Music Lic...DropboxAdobeCarter House Frami...Online bird guide,...Impo

ALPHARETTA

Filters

Code Enforcement

Filters

Styling

Filter as map moves

Location

4665 Webb Bridge Road

No results

Select attribute filters (9)

Type Description

4 values

Number

124 values

Tag

80 values

Status Code

1 values

Assigned To

2 values

Initiated Date

2/7/2022 to 6/2/2023

Showing 50 of 124 rows

Type Description	Number
Code Enforcement-Complaints	CE220057
Code Enforcement-Trees	CE220065
Code Enforcement-Complaints	CE220084
Code Enforcement-Complaints	CE220097
Code Enforcement-Complaints	CE220100
Code Enforcement-Complaints	CE220136
Code Enforcement-Complaints	CE220145
Code Enforcement-Complaints	CE220159
Code Enforcement-Complaints	CE220185
Code Enforcement-Trees	CE220217
Code Enforcement-Complaints	CE220246
Code Enforcement-Trees	CE220254
Code Enforcement-Trees	CE220276
Code Enforcement-Complaints	CE220291
Code Enforcement-Business License	CE220293
Code Enforcement-Trees	CE220309
Code Enforcement-Trees	CE220313
Code Enforcement-Complaints	CE220355
Code Enforcement-Complaints	CE220361
Code Enforcement-Complaints	CE220414
Code Enforcement-Trees	CE220418
Code Enforcement-Complaints	CE220419
Code Enforcement-Complaints	CE220471
Code Enforcement-Complaints	CE220474
Code Enforcement-Complaints	CE220501
Code Enforcement-Complaints	CE220504

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Real Estate

View Bill

View bill image

As of	6/5/2023
Bill Year	2022
Bill	2204352
Owner	GREAT HORIZONS LLC
Parcel ID	11 -0450-0163-063-3

[View payments/adjustments](#)

Installment	Pay By	Amount	Payments/Credits	Balance	Interest	Due
1	12/1/2022	\$3,617.21	\$3,617.21	\$0.00	\$0.00	\$0.00
Interest			\$18.81			\$0.00
TOTAL		\$3,617.21	\$3,617.21	\$0.00	\$0.00	\$0.00