



BOARD OF ZONING APPEALS OCTOBER 19, 2023

ALPHARETTA CITY HALL
COUNCIL CHAMBERS
2 PARK PLAZA
5:30 PM

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MEETING MINUTES**

- A. Meeting Minutes 6-15-2023**

- IV. ITEMS FROM BOARD MEMBERS**
- V. ITEMS FROM STAFF**
- VI. PUBLIC HEARING**

- A. V-23-23 / 550 Ebley Place**

- Consideration of a variance to allow for a swimming pool on a single-family residential lot. A variance is requested to Unified Development Code (UDC) Subsection 2.3.3(B) Accessory Uses and Structures, Swimming Pools to reduce the rear setback from 20' to 10'. The property is located at 550 Ebley Place and is legally described as being located in Land Lot 41, 1st District, 1st Section, Fulton County, Georgia.

- VII. ADJOURNMENT**



Board of Zoning Appeals Meeting June 15, 2023

Department of Community Development

ALPHARETTA CITY HALL | 2 PARK PLAZA

8:30 AM

This summary is provided as a convenience and service to the public, media, and staff. It is not the intent to record proceedings verbatim. Any reproduction of this summary must include this notice. Public comments are noted as heard by the Board of Zoning Appeals, but not quoted or paraphrased. This document includes limited presentation by the Board of Zoning Appeals and invited speakers in summary form. The public is advised that the tapes recorded at said meeting are a matter of public record and are available upon request.

I. MEETING ANNOUNCEMENTS

II. CALL TO ORDER

- Acting Chairwoman Lisa Shippel called the meeting to order at 5:30 p.m.

IV. ROLL CALL

- Board of Zoning Appeal Members Present:
 - Lisa Shippel (Acting Chair)
 - Donna Murphy
 - Anne Holcombe
 - Mike Perry
 - Kirk Dirskell
 - Cliff Cobb
- Staff Present:
 - Michael Woodman, Planning + Development Services Manager
 - Tracy Jackson, Planning + Zoning Coordinator
 - James Drinkard, Assistant City Administrator
 - Nikisha Mistry, GIS Specialist / Special Projects Planner

V. PLEDGE TO THE FLAG

VI. ITEMS FROM STAFF

VII. ITEMS FROM BOARD MEMBERS

A. BZA Meeting Minutes 5-18-2023

- ❖ Board member Murphy offered a motion to approve the BZA meeting minutes from 5-18-2023.

- Board member Holcombe seconded the motion.
- The motion was approved unanimously (6-0)

1. V-23-10 / 890 Melbourne Trail

Natalia Correa came forward to present this item stating that this will be an addition to the home for her mother who needs special care.

- **DRB Questions & Answers:**

- Did the other 2 homeowners adjacent to the property respond or have a comment?

- **Public comment:**

- No public comment

- ❖ Board member Murphy offered a motion to approve variance (V-23-10 /890 Melbourne Trail) subject to staff conditions.

- Board member Driskell seconded the motion.
- The motion was approved unanimously (6-0)

VIII. ADJOURNMENT

- ❖ With there being no further items to consider or discuss, Chairwoman Shippel adjourned the meeting at 5:41 p.m.

Respectfully submitted,

Tracy Jackson

Planning + Zoning Coordinator



BOARD OF ZONING APPEALS MEETING STAFF REPORT

SUBMITTING DEPARTMENT: COMMUNITY DEVELOPMENT

SUBMITTED BY: MICHAEL WOODMAN

DRAFTED BY: NIKISHA MISTRY

I. AGENDA ITEM TITLE: V-23-23 CHRISTENSEN/550 EBLEY PLACE REAR SETBACK VARIANCE

BOARD OF ZONING APPEALS: OCTOBER 19, 2023

II. RECOMMENDATION:

Approve V-23-23 Christensen/550 Ebley Place Rear Setback Variance, subject to the following conditions:

1. Swimming pool shall be permitted as depicted on the plans prepared by Backyard Escape Inc., dated September 07, 2023, and with a 10' rear setback.
2. Property shall be replanted as depicted on the Landscape Planting Site Plan, dated October 05, 2023.

III. REPORT IN BRIEF:

The applicant, Michael Ely, is requesting consideration of a variance to reduce the rear setback for a swimming pool from twenty-feet (20') to ten-feet (10'). The subject property is located at 550 Ebley Place in the Glen Abbey subdivision.

DISCUSSION

The submitted request, if approved, would allow for a swimming pool and spa at the rear of a single-family home with a reduced rear setback of ten feet (10'). The subject property is located at 550 Ebley Place in the Glen Abbey subdivision.

The 0.42-acre property is zoned CUP (Community Unit Plan) and developed with a 2-story, 3,830 square foot single-family detached home. The home is located on a cul-de-sac and has an attached wooden deck at the rear. Surrounding properties are zoned CUP and located in the Glen Abbey subdivision. The property backs up to a land owned by the Glen Abbey Homeowner's Association (HOA).

Unified Development Code (UDC) Subsection 2.3.3(B) Accessory uses and structures – Swimming Pools, requires swimming pools and auxiliary structures maintain a twenty-foot (20') setback from the rear and side property lines or the same setback as the principal structure, whichever is less. The platted rear setback for the property is twenty-five feet (25'); therefore, the twenty-foot (20') setback applies at the rear.

The applicant is proposing to reduce the rear setback by fifty percent (50%), leaving ten feet (10') to accommodate an approximately 638 square foot swimming pool with spa at the rear of the existing home. The Glen Abbey HOA requires swimming pools to be within the footprint of the home, so it is not visible from the street. The pool will be placed directly behind the home for ease of access to the basement, allowing the remaining rear yard space to be used for outdoor activities. Additionally, the applicant will be replacing impacted tree canopy with new trees and shrubs as depicted in the provided Landscape Planting Site Plan.

As shown in the table below, several pools of a comparable size have been approved in the Glen Abbey subdivision.

Approved Pool Permits in Glen Abbey Subdivision Phase 6

Address	Date	Pool Surface Area
320 Tivdale Ct	2022	718 SF
540 Ebley Pl	2019	643 SF
345 Tivdale Ct	2017	610 SF
325 Tivdale Ct	2016	467 SF
3635 Hebden Bridge Ln	2016	500 SF

VARIANCE REQUIREMENTS

The City of Alpharetta Unified Development Code Article IV, Section 4.5.3 outlines the criteria set forth for granting a hardship variance. The ordinance specifically states..."a variance may be granted in whole or in part, or with conditions, in such individual case of unnecessary hardship upon a finding that":

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography; or

Response: The property has an unusual shape given its location on a cul-de-sac. The location on the cul-de-sac required that the home be set at an angle to the rear property boundary. Additionally, there is no neighbor that abuts the rear property line. Instead, there is a utility easement at the rear of the property which is owned by the Glen Abbey HOA.

2. The application of the Ordinance to this particular piece of property would create an unnecessary hardship; or

Response: Application of the ordinance would significantly reduce the footprint of the pool and limit usable rear yard space. The property has an unusual shape given its location on a cul-de-sac. The location on the cul-de-sac required that the home be set at an angle to the rear property boundary. Additionally, there is no neighbor that abuts the rear property line. Instead, there is a utility easement at the rear of the property which is owned by the Glen Abbey HOA.

3. There are conditions that are peculiar to the property which adversely affect its reasonable use or usability as currently zoned; or

Response: The property has an unusual shape given its location on a cul-de-sac. The location on the cul-de-sac required that the home be set at an angle to the rear property boundary. Additionally, there is no neighbor that abuts the rear property line. Instead, there is a utility easement at the rear of the property which is owned by the Glen Abbey HOA.

4. Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of the Ordinance.

Response: Relief should not cause substantial detriment to the public good. The property has an unusual shape given its location on a cul-de-sac. The location on the cul-de-sac required that the home be set at an angle to the rear property boundary. There is no neighbor that abuts the rear property line. Instead, there is a utility easement at the rear of the property which is owned by the Glen Abbey HOA. Furthermore, the applicant provided letters of no objection from the adjacent properties on either side and from the Glen Abbey HOA. In addition, previous variances for a rear setback reduction to accommodate a residential pool have been approved in this subdivision. For example, the Board of Zoning Appeals approved a fifty percent (50%) rear setback reduction in 2014 at 225 Radlett Lane.

CONCURRENCES

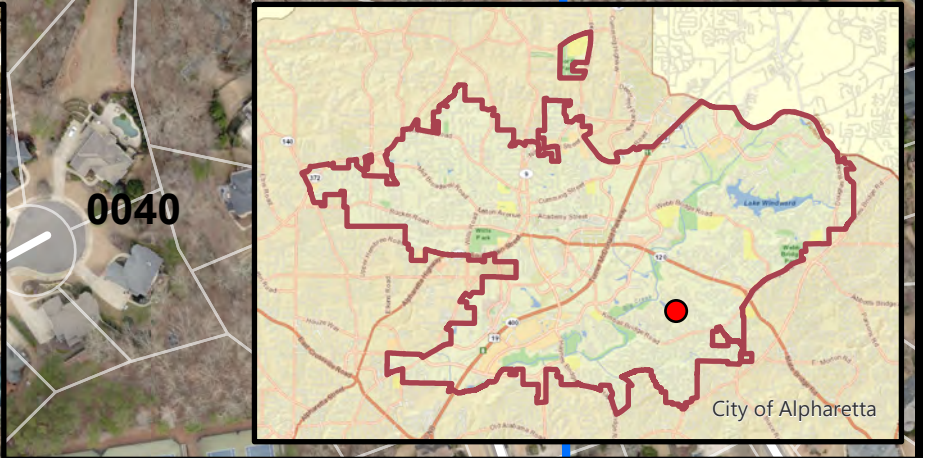
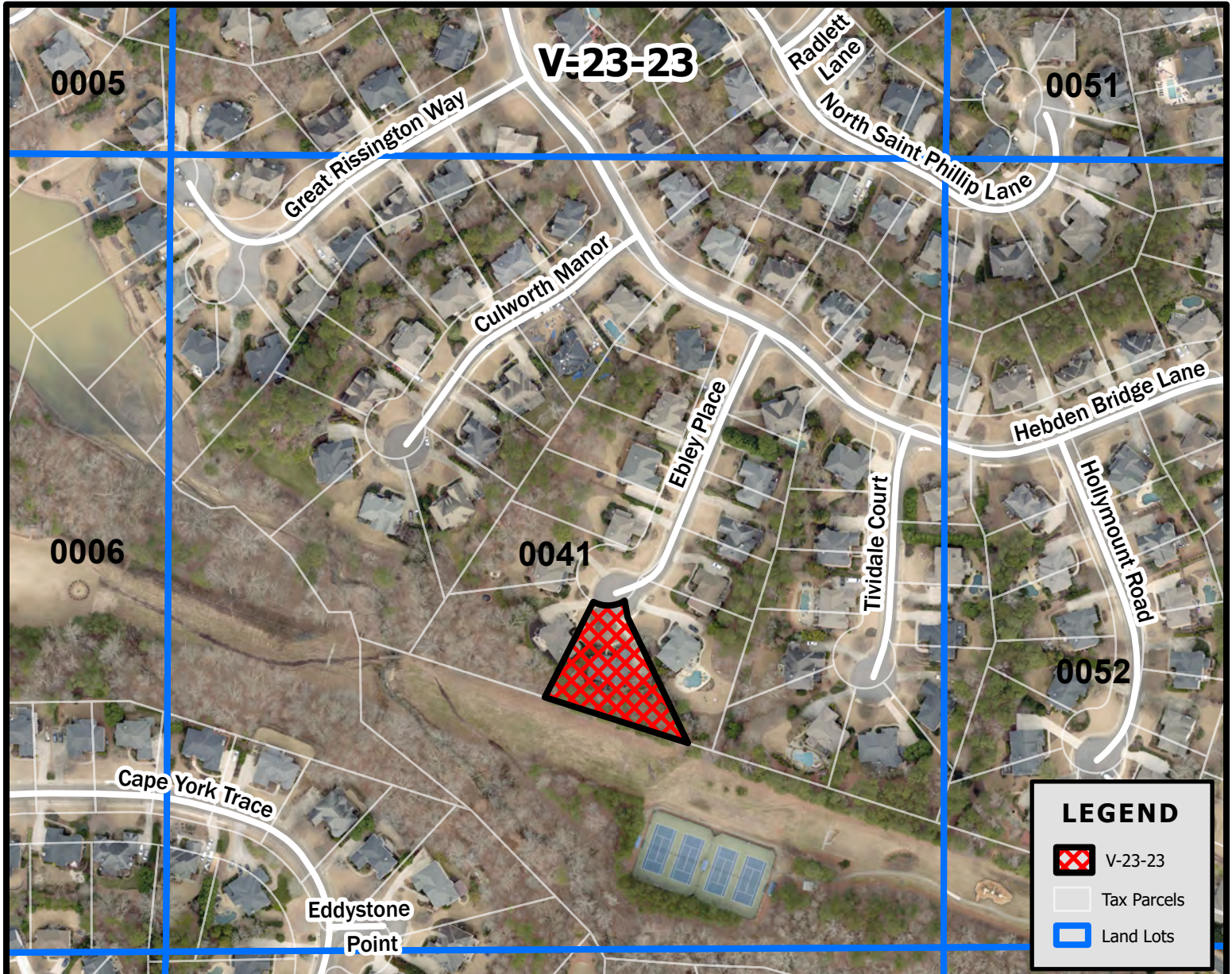
Staff has reviewed the applicant's proposal and generally supports the rear setback variance for the swimming pool. The property has an unusual shape given its location on a cul-de-sac. The location on the cul-de-sac required that the home be set at an angle to the rear property boundary. There is no neighbor that abuts the rear property line. Instead, there is a utility easement at the rear of the property which is owned by the Glen Abbey HOA. Furthermore, the applicant provided letters of no objection from the adjacent properties on either side and from the Glen Abbey HOA. In addition, previous variances for a rear setback reduction to accommodate a residential pool have been approved in this subdivision. For example, the Board of Zoning Appeals approved a fifty percent (50%) rear setback reduction in 2014 at 225 Radlett Lane.

CITIZEN PARTICIPATION PLAN

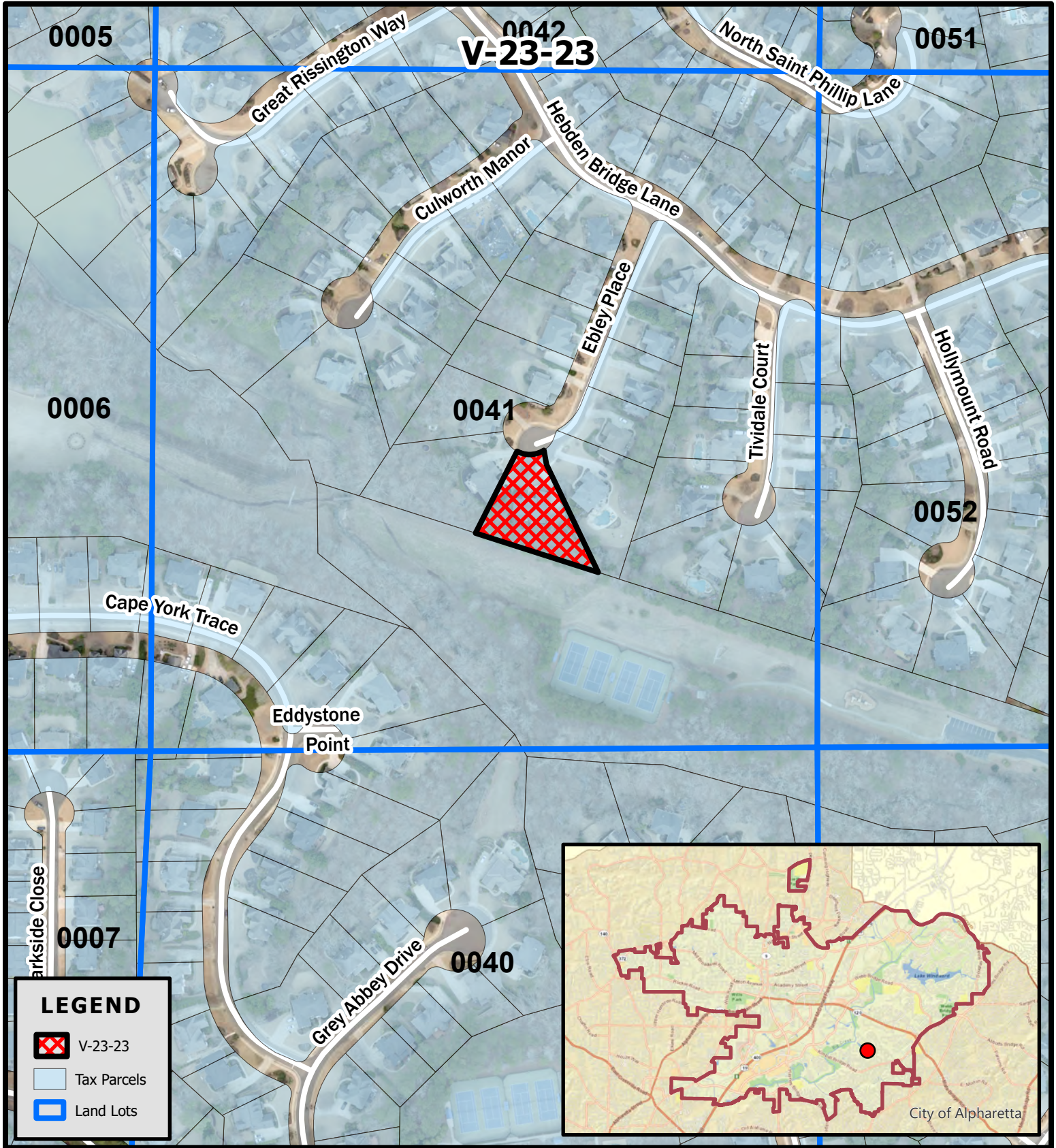
The applicant notified adjacent property owners and HOA of the variance request and intent for the property. The applicant provided letters of no objection from adjacent properties on either side and from the Glen Abbey HOA.

IV. ATTACHMENTS:

- Aerial Map
- Location Map
- Landscape Planting Site Plan
- Citizen Part B
- Application



V-23-23
D/LL: 1/1/41
BZA: 10/19/23



V-23-23
D/LL: 1/1/41
BZA: 10/19/23

ISSUE FOR CONSTRUCTION: LANDSCAPE PLANTING SITE PLAN

EROSION & GENERAL DETAIL:

~ The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures prior to land disturbing activities.

~ Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.

~ Disturbed areas left idle 14 days shall be stabilized with temporary vegetation and mulch disturbed areas remaining idle 30 days shall be stabilized with permanent vegetation.

~ Erosion and sediment control measures shall be inspected at least daily, after each rain, and repaired as necessary.

~ Additional erosion and sediment control measures shall be installed if determined necessary by on site inspection.

~ Silt fence shall be "type C" as per the manual for erosion and sediment control in Georgia.

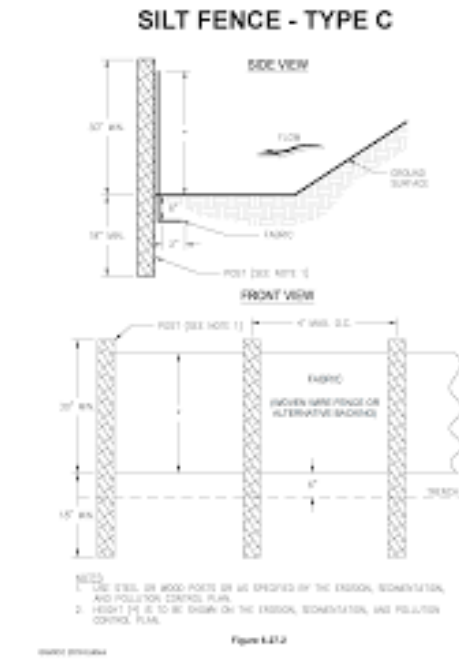
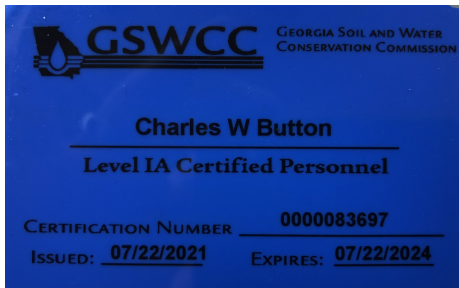
~ The design professional affirms that the site was visited prior to the preparation of the site plan by himself or his authorized agent under his supervision.

MAINTENANCE:

~ Sediment shall be removed once it has accumulated to one-half the original height of the barrier. Filter fabric shall be replaced whenever it has deteriorated to such an extent that the effectiveness of the fabric is reduced (Approximately six months).

~ Temporary sediment barriers shall remain in place until disturbed areas have been permanently stabilized. All sediment accumulated at the barrier shall be removed and properly disposed of before the barrier is removed.

24hr Contact Number:
Charles Button 678-794-9360
GSWCC Level 1A 000008369



Ds1 - DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

Using plant residues or other suitable materials on the soil surface to reduce runoff and erosion, conserve moisture, prevent soil compaction and crusting, control undesirable vegetation, modify soil temperature and to increase biological activity in the soil. This practice is applicable where stabilizing disturbed or denuded areas is not practical utilizing seeding or planting.

Ds2 - DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

A temporary vegetative cover with fast growing seedlings for disturbed or denuded areas. This practice is applicable for up to six months or until permanent vegetative cover can be installed. It should be coordinated with permanent measures to assure economical and effective stabilization. Techniques for establishing temporary cover utilizing both conventional and hydraulic seeding equipment are included.

Ds3 - DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

A permanent vegetative cover such as trees, shrubs, vines, grasses and legumes on disturbed or denuded areas. It will apply on cut and fill slopes, earth spillways, borrow areas, spoil areas and severely eroded or gullied lands. Techniques utilizing both conventional and hydraulic seeding equipment are discussed.

Ds4 - DISTURBED AREA STABILIZATION (WITH SODDING)

A permanent vegetative cover using sods on highly erodible or critically eroded lands. Sods provide immediate ground cover and help filter sediments and nutrients.

CO - CONSTRUCTION ENTRANCE

A STONE STABILIZED PAD SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE TO A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, SIDEWALK, PARKING AREA, OR ANY OTHER AREA WHERE THERE IS A TRANSITION FROM BARE SOIL TO A PAVED AREA.

MAINTENANCE:

THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

CWO - CONCRETE WASH OUT

DESIGNATE WASHDOWN AREA AND EXCAVATE PIT LARGE ENOUGH TO CONTAIN WASHDOWN WATER. THIS MUST BE AWAY FROM STORM DRAINS AND WATERWAYS. THE PIT WILL BE ENCLOSED WITH SD1-NS SILT FENCE AND STEAKED STRAW BALS. ADVISE CONCRETE TRUCK DRIVERS OF THE DESIGNATED WASH-OUT AREAS BEFORE THEY START THE JOB. WASHDOWN CHUTE, HOPPER, AND REAR OF VEHICLE ONLY. DO NOT WASH OUT DRUM. ENSURE THAT ALL WASHDOWN WATER STAYS IN PIT. DISPOSE OF SETTLED, HARDENED CONCRETE IN GARBAGE WITH OTHER CONSTRUCTION DEBRIS. NEVER DISPOSE OF WASHDOWN WATER IN STREETS, STORM DRAINS, OR STREAMS

Total Area:
0.42 AC
18,174 Square Feet

Existing Impervious Area = 6,719 Sq Ft
~ House = 4,328 Sq Ft
~ Driveway = 1,874 Sq Ft
~ Existing Wood Deck = 452 Sq Ft
~ Existing Retaining Walls = 65 Sq Ft

New Impervious Area = 2,285 Sq Ft
~ Pool = 475 Sq Ft
~ Spa = 70 Sq Ft
~ Patio = 1,643 Sq Ft
~ Retaining Wall: 97 Sq Ft

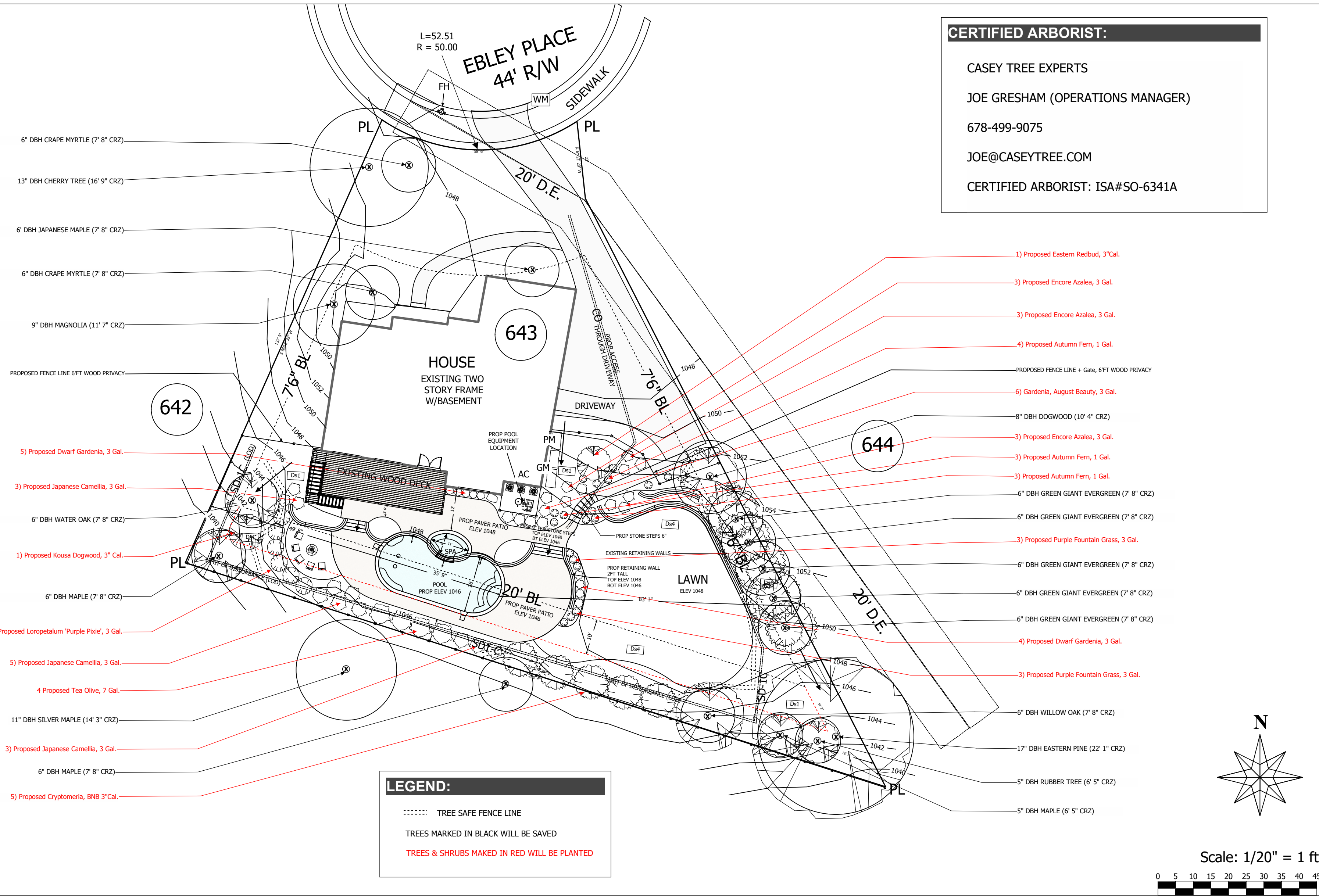
LIMIT OF DISTURBANCE = 5,500 SQ FT

Pool Set Backs:
~ Right: 83' 1"
~ Left: 49' 8"
~ Rear: 10' Ft.

NO PORTION OF THE PROPERTY IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA PER FULTON COUNTY (F.I.R.M.) PANEL NO. 13121C0067F DATED SEPTEMBER 18, 2013

CRITICAL ROOT ZONE (CRZ) CALCULATION:

DBH X 1.3 = CRITICAL ROOT ZONE (CRZ)



TREES SAVED:

TREES TO BE SAVED

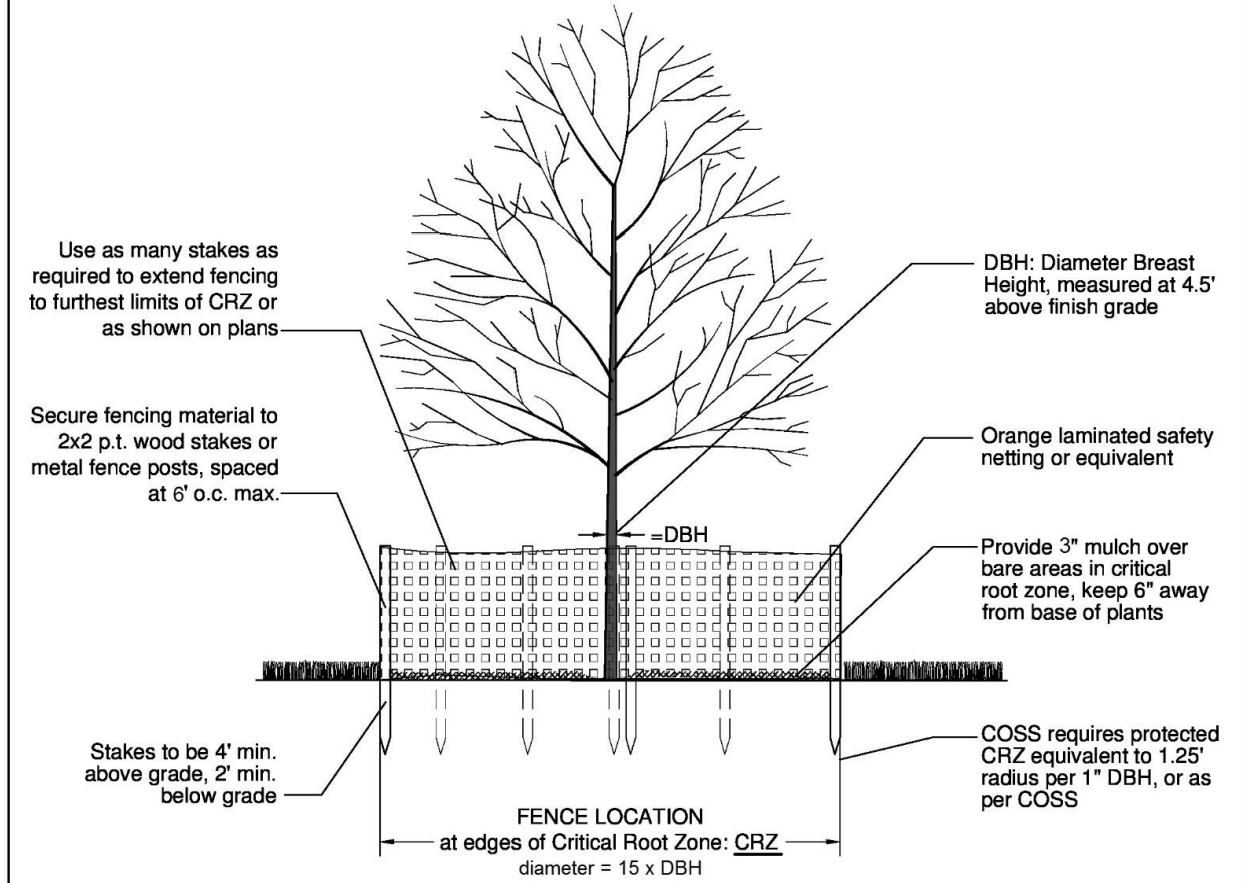
NUMBER	DIAMETER	NAME	CONDITION	NOTES	IMPACT
1	6"	CRAPE MYRTLE	GOOD	FRONT SIDE WALK	0%
2	13"	CHERRY	GOOD	FRONT LEFT SIDE WALK	0%
3	6"	JAPANESE MAPLE	GOOD	RIGHT FRONT DRIVEWAY	0%
4	6"	CRAPE MYRTLE	GOOD	FRONT LEFT PORCH	0%
5	8"	MAGNOLIA	GOOD	LEFT FRONT PORCH	0%
6	6"	WATER OAK	THIN	LEFT REAR BY DECK	0%
7	8	MAPLE	THIN	LEFT REAR CORNER	0%
8	11"	SILVER MAPLE	GOOD	NOT ON PROPERTY	0%
9	8"	DOGWOOD	GOOD	RIGHT SIDE DRIVEWAY	0%

TREES TO BE SAVED

NUMBER	DIAMETER	NAME	CONDITION	NOTES	IMPACT
10	6"	GREEN GIANT	GOOD	RIGHT REAR FENCE	0%
11	6"	GREEN GIANT	GOOD	RIGHT REAR FENCE	0%
12	6"	GREEN GIANT	GOOD	RIGHT REAR FENCE	0%
13	6"	GREEN GIANT	GOOD	RIGHT REAR FENCE	0%
14	6"	GREEN GIANT	GOOD	RIGHT REAR FENCE	0%
15	6"	WILLOW OAK	THIN	REAR FENCE LINE	0%
16	17	EASTER PINE	GOOD	RIGHT REAR CORNER	0%
17	5"	RUBBER TREE	THIN	RIGHT REAR CORNER	0%
18	6"	MAPLE	THIN	RIGHT REAR CORNER	0%

NOTES:

1. Tree protection fencing to be installed prior to any land disturbance on site.
2. Locate fencing at edge of CRZ, or against pavement edges, as per approved site plans.
3. Fencing must remain through the duration of all construction activities. Removal or relocation of fencing for temporary access must be replaced daily and immediately upon completion of work requiring access. Temporary access must be approved in advance by the COSS Arborist.
4. Activities within tree protection area are not permitted, including staging of materials, parking, pedestrian access, etc.
5. Where tree protection is adjacent to erosion control fencing, tree fence must be visible and at full 4' height min. on the inside of tree save area.
6. Where tree protection fencing encroaches on CRZ of existing trees to remain, of any size, in areas of cutting grade, tree roots are to be cut below grade to depth of 12" with clean sharpened implements.



PROPOSED TREES & SHRUBS

ITEMS TO BE PLANTED:

QUANTITY	SIZE	NAME	NOTES
11	3 GAL.	CAMELIA	FLOWERING SHRUB
4	7 GAL.	TEA OLIVE	FLOWERING SHRUB
6	3 GAL.	LOROPETALUMN	FLOWERING SHRUB
9	3 GAL.	DWARF GARDENIA	FLOWERING SHRUB
6	3 GAL.	GARDENIA	FLOWERING SHRUB
9	3 GAL.	ENCORE AZALEA	FLOWERING SHRUB
10	1 GAL.	AUTUMN FERN	EVERGREEN SHRUB
6	1 GAL.	FOUNTAIN GRASS	PERENNIAL

ITEMS TO BE PLANTED:

QUANTITY	SIZE	NAME	NOTES
5	2"-3" CAL.	CRYPTOMERIA	EVERGREEN TREE
1	2"-3" CAL.	DOGWOOD	FLOWERING TREE
1	2"-3" CAL.	REDBUD	FLOWERING TREE

PROPERTY INFO:

Homeowner: Camie Christensen
Lot Size: 0.42 ACRES, 18,174 Sq. Ft.
Address: 550 Ebbley Place
Alpharetta, Ga 30022

Parcel ID: 11 003000411042

Lot: 643

District: 1st Section: 1st

County: Fulton County, Georgia

Plat: Plat Book 215, Pages 43-48

Wastewater: Sewer

CONTRACTOR INFO:

Company: Backyard Escape Inc.

Address: 2165 Brannan Blvd.
Grayson, Ga 30017

Designer: Michael Ely

Phone: 678-794-9360

Email: Michael@BackyardEscapeInc.com

GSWCC: Level 1A 000008369

Business License: City Of Grayson #23-076

Company Name: Backyard Escape Inc.



SCOPE OF WORK:

WORK TO BE COMPLETED BY BACKYARD ESCAPE

~ IN-GROUND CONCRETE SWIMMING POOL

~ IN-GROUND CONCRETE SPILLOVER SPA

~ STACK STONE RETAINING WALLS + STEPS

~ PAVER PATIO

~ ELECTRICAL SERVICE TO POOL EQUIPMENT

~ GAS SERVICE TO POOL HEATER

~ SOD REPAIRS

~ PINE STRAW ANY DISTURBED AREAS FROM CONSTRUCTION

WORK TO BE COMPLETED BY HOMEOWNER OR OTHER CONTRACTOR

~ TREE REMOVAL (CASEY TREES)

~ FENCE INSTALLATION

811 NOTES:

72 hours of notice is required to Georgia 811 Utility Protection Center before any land disturbance activities can begin.



SITE PLAN NOTES:

CITIZEN PARTICIPATION FORM - PART B

This form must be completed and submitted to the City of Alpharetta Community Development Department a minimum of twenty (20) working days prior to the scheduled Public Hearing. Failure to do so will result in cancellation of the scheduled hearing.

Public Hearing or Project Name: V-23-23 / 550 Ebley Place

Contact Name: Michael Ely

Telephone: 678-794-9360

Please describe comments and concerns provided by any and all individuals contacted as part of the the Citizen Participation Program. If any individuals provided written correspondence, please attach copies of same to this report.

~ Letters were mailed to corresponding neighbors within 500'ft feet of property address 550 Ebley Place. Letters were mailed to; 520, 530, 535, 540, 545, and 555 Ebley Place. Email was sent to Glen Abey Subdivision Homeowners Association. Please see attached correspondence.

Method by which these individuals were contacted. Please mark all that apply. *Please provide samples of any and all written communications used to provide notification.*



Letter



Personal Visits



Telephone



Group Meeting



Email

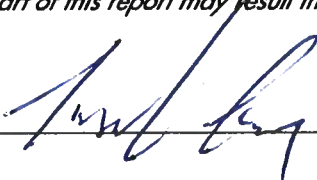


Other (Please Specify) _____

Attach a list of people who have been notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified.

I, the undersigned, as an authorized representative of the applicant and Public Hearing item identified above, do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Citizen Participation Form - Part B and in any and all documents provided in support of this report are true and accurate. I further understand that any false statements provided by representatives of the applicant as part of this report may result in penalties up to and including denial of the subject application.

Signature of Authorized Agent: _____



Date: 9/29/2023

Print Form

August 20, 2023

City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

To Whom it May Concern:

We are in the process of designing an inground pool and are requesting a setback variance from the city of Alpharetta. We request that the 20' setback required for our lot be reduced to 10' to install a pool behind our home. Because of the location of our home and backyard property line, adhering strictly to the 20' setback would require us to do one of the following three things:

- 1) Place our pool within inches of our deck creating a safety concern from our perspective.
- 2) Shift the location of the pool to the side yard directly behind our driveway and away from the house, which would be an awkward place for a pool and not accessible from the house.
- 3) Reduce the width from a normal size (~16') to < 10', which will not allow us to create a usable pool for our family.

The three challenges of installing our pool are all based on the 20' setback ordinance; however, we feel we have a solution that is reasonable and would allow us to place our pool directly behind our house which is better for our property value, neighborhood aesthetics, and the city of Alpharetta overall.

The three concerns stated above can be removed by receiving the setback variance and allowing us to place our pool directly behind our home. We understand the rationale of the 20' setback, but feel our variance is justified for the following reasons:

- Our home is on the end of the cul de sac so our property runs long and narrow in our backyard, creating a challenging space for a pool if we don't receive an exception to the setback rule. The way our home sits on our property is at an angle to the back property line.
- Our backyard property line meets up to a utility easement, so we don't have any direct backyard neighbors, thus removing any concern of potentially disrupting a backyard neighbor's property.
- Our three other neighbors who share our cul de sac have all agreed that they have no concern with us requesting the setback variance and proceeding with our plans as we have submitted. (Please see signed letters from our neighbors).

Thank you for reviewing our plans for our pool and providing an exception to the current setback rule. We feel that based on our specific situation, the variance is justified. Please advise with any questions.

Sincerely,

Matt & Camie Christensen
550 Ebley Place
Alpharetta, GA 30022

09/29/2023

Backyard Escape Inc.
2165 Brannan Blvd.
Grayson, Ga 30017

RE: Matt & Camie Christensen {V-23-23 / 550 Ebley Place}

To whom,

List of notified properties within 500 feet of property address 550 Ebley Place. Notified By letter.

- 520 Ebley Place Alpharetta Ga.
- 530 Ebley Place Alpharetta Ga.
- 535 Ebley Place Alpharetta Ga.
- 540 Ebley Place Alpharetta Ga.
- 545 Ebley Place Alpharetta Ga.
- 555 Ebley Place Alpharetta Ga.

An email was sent to Glen Abey Subdivision Homeowners Association.

Sincerely,

Michael Ely
678-794-9360
Michael@BackyardEscapeInc.com

09/22/2023

Backyard Escape Inc.
2165 Brannan Blvd.
Grayson, Ga 30017

RE: Matt & Camie Christensen {V-23-23 / 550 Ebley Place}

Dear Property Owner:

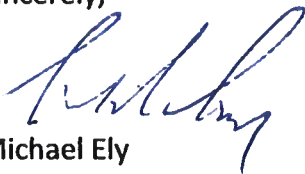
Please allow this letter to serve as public notice for a "Public Hearing Type: Variance" requested at property address 550 Ebley Place Alpharetta, Ga. for an in-ground swimming pool.

The Community Zoning Information Meeting (CZIM) for this request will be held on [Insert Date] at 6:00 PM in the Multipurpose Room in Alpharetta City Hall across from the Council Chambers. Alpharetta City Hall is Located at 2 Park Plaza, Alpharetta, GA 30009. This is an informal meeting to allow the public to view public hearing requests, ask questions, and provide feedback.

This item will be considered by the Planning Commission on Thursday, October 19th at 5:30 PM and City Council on Monday, [Insert Date] at 6:30 PM. The meeting(s) will be held in the Council Chambers at City Hall, 2 Park Plaza, Alpharetta, GA 30009.

If you have any questions regarding the request, please feel free to contact me at your convenience. I can be reached at [Insert email address or phone number].

Sincerely,



Michael Ely
678-794-9360
Michael@BackyardEscapeInc.com



● **Camie Christensen** <camie.christens



Mon, Aug 14 at 5:33 PM ☆

To: [Backyard Escape Inc.](#),
Matt Christensen

Hi Michael,

We had a chance to meet with all of our neighbors who live on our culdesac this weekend. We brought them a letter of support for our variance, which they were all very happy to sign. I am attaching a copy of the letters below. The names of our neighbors are:

Chance & Karol Mason (540 Ebley Place)

Praveen & Smita Kakaraddi (555 Ebley Place)

Neil & Kindra Roner (545 Ebley Place)

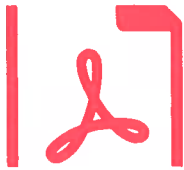
The Masons and Kakaraddis are our neighbors on either side, and the Roners are on the culdesac with us.

We will also be reaching out to our HOA to give them a heads up. I don't know if they will write a letter of support, but we want to at least let them know what we are doing.

Did you say you also wanted Matt & I to write a letter as well?

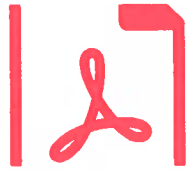
Thank you,
Camie

[Download all attachments as a zip file](#)



mason.pdf

191.9kB



kakaraddi.pdf

251.4kB



roner.pdf

265.6kB

August 10, 2023

City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

To Whom it May Concern:

We understand that Matt and Camie Christensen (550 Ebley Place) are pursuing a setback variance for their planned in-ground swimming pool. Our understanding is that they are asking for the prevailing 20' setback required for their lot to be reduced to 10' to install a pool behind their home.

Based on this variance request, we have no objection to the City's anticipated approval of the request. There are no back neighbors to the Christensen's home and as adjacent neighbors we support the approval of their request.

Sincerely,

A handwritten signature in blue ink that reads "Karol Mason". The signature is fluid and cursive, with the first name "Karol" and the last name "Mason" clearly legible.

Chance & Karol Mason
540 Ebley Place
Alpharetta, GA 30022

August 10, 2023

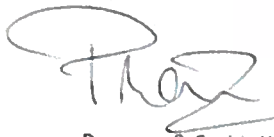
City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

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Based on this variance request, we have no objection to the City's anticipated approval of the request. There are no back neighbors to the Christensen's home and as adjacent neighbors we support the approval of their request.

Sincerely,



Praveen & Smita Kakaraddi

555 Ebley Place
Alpharetta, GA 30022

August 10, 2023

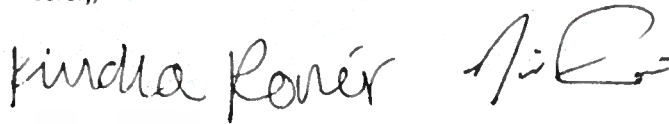
City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

To Whom it May Concern:

We understand that Matt and Camie Christensen (550 Ebley Place) are pursuing a setback variance for their planned in-ground swimming pool. Our understanding is that they are asking for the prevailing 20' setback required for their lot to be reduced to 10' to install a pool behind their home.

Based on this variance request, we have no objection to the City's anticipated approval of the request. There are no back neighbors to the Christensen's home and as neighbors sharing the cul-de-sac we support the approval of their request.

Sincerely,

A handwritten signature in black ink, appearing to read "Kindra Roner". To the right of the signature is a small, stylized mark that looks like "N-E".

Neil & Kindra Roner

545 Ebley Place
Alpharetta, GA 30022

● **Camie Christensen** <camie.christensen@gmail.com>

Tue, Sep 5 at 1:54 PM ☆

To: Backyard Escape Inc.

Hello Michael,

I received this from our community manager. I will also ask her to complete a letter similar to the other one, and get that to you. But we could also include this email communication. I noticed the other variance had an email included in it.

Thank you,
Camie

----- Forwarded message -----

From: **Melissa Harris** <melissa.harris@cmacommunities.com>

Date: Tue, Sep 5, 2023 at 11:40 AM

Subject: Pool Variance

To: camie.christensen@gmail.com <camie.christensen@gmail.com>

Hi Camie,

The board approved your variance. Please let me know what you need from me to present to the city.

Thank you,

Melissa Harris, CAM, CMCA

Property Manager



Glen Abbey HOA

[3600 Grey Abbey Dr.](#)

[Alpharetta, GA 30022](#)

(770)442-9121

CMA Client Services 800.522.6314



Alabama | Florida | Georgia | South Carolina | Tennessee

CMA rejects any liability for the contents of this email, or the consequences of any actions taken based on the provided information, unless the information is later confirmed in writing. If this message was not meant for you, understand that you are prohibited from disclosing, copying, circulating, or taking any action based on this information."



● **Camie Christensen** <camie.christensen
To: Backyard Escape Inc.,
Matt Christensen



Tue, Sep 5 at 4:16 PM ☆

Hello Michael,
I am attaching the letter of support from the Glen Abbey HOA.

Thank you for submitting this to the City of Alpharetta for us.

Camie

----- Forwarded message -----

From: **Melissa Harris** <melissa.harris@cmacommunities.com>
Date: Tue, Sep 5, 2023 at 3:44 PM
Subject: RE: Pool Variance
To: Camie Christensen <camie.christensen@gmail.com>

Here you go. Let me know if you need anything else.

Thank you,

Melissa Harris, CAM, CMCA
Property Manager



Glen Abbey HOA

[3600 Grey Abbey Dr.](#)

[Alpharetta, GA 30022](#)

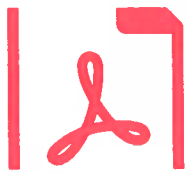
(770)442-9121

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Christensenpdf



September 5, 2023

City of Alpharetta
Department of Community Development
2 Park Place
Alpharetta, GA 30009

To Whom it may concern,

As the Community Manager and on behalf of the Glen Abbey HOA, I understand that Cammie and Matthew Christensen of 550 Ebley Place are pursuing a setback variance for their planned in-ground swimming pool. Our understanding is that they are asking that the 20' setback be reduced to 10'.

Based upon this variance request, our HOA has no objection to the City's anticipated approval of the request. We also understand that the Glen Abbey homeowners who are adjacent to the Christensen's back lot line have also provided their support for this variance request.

Please advise should you have any questions. I may be reached at 770-442-9121.

Sincerely,

A handwritten signature in cursive script that reads "Melissa Harris".

Melissa Harris, CMCA, CAM
Property Manager

CITY OF ALPHARETTA

PUBLIC HEARING APPLICATION

FOR OFFICE USE ONLY

Case #: P44230035

PH #: _____

☐ Property Taxes & Code Violations Verified

☒ Fee Paid Initial: PC

COMMUNITY DEVELOPMENT DEPARTMENT

2 PARK PLAZA

ALPHARETTA, GA 30009

1. This page should be the first page in each of your completed application packets.
2. It is preferred that all responses be typed. Illegible applications will not be accepted.
3. Prior to signing and submitting your application, please check all information supplied on the following pages to ensure that all responses are complete and accurate. Incomplete applications will not be accepted.
4. Payment of all applicable fees must be made at the time of application. Payment may be made via cash, credit card (American Express, Master Card or Visa), or check made payable to "City of Alpharetta." Please note that a 3% convenience fee will be added to all credit card transactions.
5. Applications will be accepted on the designated submittal dates between the hours of 8:30 AM and 3:30 PM.
6. If you have any questions regarding this form, please contact the Community Development Department by calling 678-297-6070.

Contact Information:

Contact Name: Michael Ely Telephone: 678-794-9360

Address: 2165 Brannan Blvd. Suite: _____

City: Grayson State: Ga Zip: 30017 Fax: _____

Mobile Tel: 678-794-9360 Email: Michael@BackyardEscapeInc.com

Subject Property Information:

Address: 550 Ebley Place Alpharetta Ga. 30022 Current Zoning: _____

District: 1st Section: 1st Land Lot: 643 Parcel ID: 11 003000411042

Proposed Zoning: R-15 Current Use: Residential, single family home

This Application For (Check All That Apply):

☐ Conditional Use

☐ Rezoning

☒ Variance

☐ Exception

☐ Master Plan Amendment

☐ Master Plan Review

☐ Public Hearing

☐ Other (Specify): _____

☐ Comprehensive Plan Amendment

APPLICANT REQUEST AND INTENT

What is the proposed use(s) of the property?

Residential single family home with proposed swimming pool + spa.

Applicant's Request (Please itemize the proposal):

A variance of 10'ft. to decrease the rear setback from 20'ft to 10'ft (50% Reduction) to install a swimming pool

Applicant's Intent (Please describe what the proposal would facilitate):

The proposal would facilitate the homeowner to install a swimming pool in the rear of their property.

PROPERTY OWNER AUTHORIZATION

Property Owner Information:

Contact Name: Matthew + Camie Christensen

Telephone: 763-412-0336

Address: 550 Ebley Pl

Suite: _____

City Alpharetta

State: GA

Zip: 30022

Authorization:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of Fulton County, Georgia, of the property identified below, which is the subject of the attached Application for Public Hearing before the City of Alpharetta, Georgia.

As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Public Hearing in request of the items indicated below.

- | | |
|---|--|
| ☐ Annexation | ☐ Special Use |
| ☐ Rezoning | ☐ Conditional Use |
| ☒ Variance | ☐ Master Plan |
| ☐ Land Use Application | ☐ Other |

Property Owner's Authorized Applicant (if applicable):

Name of Authorized Applicant: Backyard Escape-Michael Ely Telephone: 678-794-9360

Address: 2165 Brannan Blvd Suite: _____

City Grayson State: GA Zip: 30017

So Sworn and Attested:

Owner Signature: Camie D Christensen

Date: 7/28/2023

Notary:

Notary Signature: Melissa A Harris



Date: 8/9/2023

PROPERTY OWNER AUTHORIZATION

Property Owner Information:

Contact Name: Matthew + Camie Christensen

Telephone: 763-412-0336

Address: 550 Ebley Pl

Suite: _____

City Alpharetta

State: GA

Zip: 30022

Authorization:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of Fulton County, Georgia, of the property identified below, which is the subject of the attached Application for Public Hearing before the City of Alpharetta, Georgia.

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☐ Annexation

☐ Special Use

☐ Rezoning

☐ Conditional Use

☒ Variance

☐ Master Plan

☐ Land Use Application

☐ Other

Property Owner's Authorized Applicant (if applicable):

Name of Authorized Applicant: Backyard Escape-Michael Ely Telephone: 678-794-9360

Address: 2165 Brannan Blvd

Suite: _____

City Grayson

State: GA

Zip: 30017

So Sworn and Attested:

Owner Signature: Camie D Christensen

Date: 7/28/2023

Notary:

Notary Signature: Melissa A Harris



Date: 8/9/2023

DISCLOSURE FORM

The Official Code of Georgia Annotated requires disclosure of campaign contributions to government officials by an applicant or opponent of a rezoning or public hearing petition (O.C.G.A. 36-67 A-1).

Applicants must file this form with the City of Alpharetta Community Development Department within ten (10) days after filing for rezoning or public hearing. Opponents to a rezoning or public hearing petition must file this form five (5) days prior to the Planning Commission meeting at which the subject rezoning or public hearing petition is scheduled to be heard.

Name of Applicant or Opponent: Michael Ely

Subject Public Hearing Case: 550 Ebkey Place

Campaign Contribution Information:

Please provide the requested information for each contribution with a dollar amount or value of \$250 or more made within the past two (2) years to an Alpharetta Official by the individual identified above. Please use a separate form for each Alpharetta Official to whom such a contribution as been made.

If the individual identified above has made no such contributions to an Alpharetta Official within the past two (2) years, please indicate this by entering "N/A" on the appropriate lines below.

Name of Official: N/A Position: _____

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

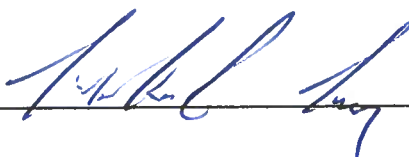
Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Campaign Contribution Information:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Disclosure Form is true and accurate and that I have disclosed herein any and all campaign contributions made to an Official of the City of Alpharetta, Georgia in accordance with O.C.G.A. 36-67 A-3.

Signature: 

Date: 9/1/2023

BOARD OF ZONING APPEALS REVIEW CRITERIA

Please respond to the following ONLY if you are applying for a zoning variance.

Are there extraordinary and exceptional conditions pertaining to the subject property because of its size, shape, or topography? Please describe them.

See attached letter.

Would the application of the Zoning Code standards as they relate to the subject property create an unnecessary hardship? Please explain.

See attached letter.

Are there conditions that are peculiar to the subject property? Please describe them in detail.

See attached letter.

Would relief, if granted, cause substantial detriment to the public good or impair the purpose and intent of the Zoning Code? Please defend your response.

See attached letter.

On a separate sheet or sheets, please provide any information or evidence that supports your request and the statements that you have provided in this application.

August 20, 2023

City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

To Whom it May Concern:

We are in the process of designing an inground pool and are requesting a setback variance from the city of Alpharetta. We request that the 20' setback required for our lot be reduced to 10' to install a pool behind our home. Because of the location of our home and backyard property line, adhering strictly to the 20' setback would require us to do one of the following three things:

- 1) Place our pool within inches of our deck creating a safety concern from our perspective.
- 2) Shift the location of the pool to the side yard directly behind our driveway and away from the house, which would be an awkward place for a pool and not accessible from the house.
- 3) Reduce the width from a normal size (~16') to < 10', which will not allow us to create a usable pool for our family.

The three challenges of installing our pool are all based on the 20' setback ordinance; however, we feel we have a solution that is reasonable and would allow us to place our pool directly behind our house which is better for our property value, neighborhood aesthetics, and the city of Alpharetta overall.

The three concerns stated above can be removed by receiving the setback variance and allowing us to place our pool directly behind our home. We understand the rationale of the 20' setback, but feel our variance is justified for the following reasons:

- Our home is on the end of the cul de sac so our property runs long and narrow in our backyard, creating a challenging space for a pool if we don't receive an exception to the setback rule. The way our home sits on our property is at an angle to the back property line.
- Our backyard property line meets up to a utility easement, so we don't have any direct backyard neighbors, thus removing any concern of potentially disrupting a backyard neighbor's property.
- Our three other neighbors who share our cul de sac have all agreed that they have no concern with us requesting the setback variance and proceeding with our plans as we have submitted. (Please see signed letters from our neighbors).

Thank you for reviewing our plans for our pool and providing an exception to the current setback rule. We feel that based on our specific situation, the variance is justified. Please advise with any questions.

Sincerely,

Matt & Camie Christensen
550 Ebley Place
Alpharetta, GA 30022

August 20, 2023

City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

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Sincerely,

Matt & Camie Christensen
550 Ebley Place
Alpharetta, GA 30022

CITIZEN PARTICIPATION FORM - PART A

This form must be completed and submitted with the applicant's completed Public Hearing Application. Applications submitted to the City of Alpharetta without a completed Citizen Participation Form - Part A will not be accepted.

Public Hearing or Project Name: Christensen Pool Variance

Contact Name: Michael Ely Telephone: 678-794-9360

The following people will be notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified. Use additional pages as needed.

Chance + Karol Mason, 540 Ebley Pl.

Neil + Kindra Rorer, 545 Ebley Pl.

Praveen + Smita Kakaraddi, 555 Ebley Pl.

Glenn Abbey HOA

Method by which these individuals will be contacted. Please mark all that apply. *If you select "Other," please provide a description of the method of contact that will be used.*

- | | |
|---|---|
| ☐ Letter | ☐ Personal Visits |
| ☐ Telephone | ☐ Group Meeting |
| ☒ Email | ☐ Other (Please Specify) |

Please describe the method(s) by which these individuals will have the opportunity to respond or contact the applicant with questions or concerns about the proposal.

All neighboring properties and HOA have been notified by email,
All have given support and approval of the proposed pool variance request.

August 10, 2023

City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

To Whom it May Concern:

We understand that Matt and Camie Christensen (550 Ebley Place) are pursuing a setback variance for their planned in-ground swimming pool. Our understanding is that they are asking for the prevailing 20' setback required for their lot to be reduced to 10' to install a pool behind their home.

Based on this variance request, we have no objection to the City's anticipated approval of the request. There are no back neighbors to the Christensen's home and as adjacent neighbors we support the approval of their request.

Sincerely,

A handwritten signature in blue ink that reads "Karol Mason". The signature is fluid and cursive, with the first name "Karol" and the last name "Mason" clearly legible.

Chance & Karol Mason
540 Ebley Place
Alpharetta, GA 30022

August 10, 2023

City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

To Whom It May Concern:

We understand that Matt and Carrie Christensen (550 Ebley Place) are pursuing a setback variance for their planned in-ground swimming pool. Our understanding is that they are asking for the prevailing 20' setback required for their lot to be reduced to 10' to install a pool behind their home.

Based on this variance request, we have no objection to the City's anticipated approval of the request. There are no back neighbors to the Christensen's home and as adjacent neighbors we support the approval of their request.

Sincerely,



Chance & Karol Mason
540 Ebley Place
Alpharetta, GA 30022

August 10, 2023

City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

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Based on this variance request, we have no objection to the City's anticipated approval of the request. There are no back neighbors to the Christensen's home and as neighbors sharing the cul-de-sac we support the approval of their request.

Sincerely,

A handwritten signature in black ink, appearing to read "Kindra Roner". The signature is fluid and cursive, with a large, stylized "K" and "R".

Neil & Kindra Roner
545 Ebley Place
Alpharetta, GA 30022

August 10, 2023

City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

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Neil & Kindra Roner
545 Ebley Place
Alpharetta, GA 30022

August 10, 2023

City of Alpharetta
Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

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Sincerely,



Praveen & Smita Kakaraddi

555 Ebley Place
Alpharetta, GA 30022

August 10, 2023

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Dept. of Community Management
2 Park Plaza
Alpharetta, GA 30009

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Sincerely,



Praveen & Smita Kakaraddi

555 Ebley Place
Alpharetta, GA 30022

Legal Description

All that tractor parcel of land lying and being in Land Lot 643 of the 1st District of the 1st Section of Fulton County of Glen Abbey Subdivision Lot 41 . Plat book 215, Pages 43-48.

The intersection of Ebley Place (44'ft R/W) & Hebden Bridge Ln. (50'ft R/W) if the R/W lines were extended to form an intersection rather than a curve.

No portion of the property is located within a designated flood hazard area per Fulton County (F.I.R.M.) panel No. 13121C0067F, dated September 18th 2013.

Land Area = 0.42 Acres, 18,174 Square Feet.

Legal Description

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Land Area = 0.42 Acres, 18,174 Square Feet.



Backyard Escapes
Michael Ely

Site Address: 550 Ebley Place
Alpharetta GA

Removal of 17 trees for pool construction that are either in the construction site or will impact the critical root zone. All other trees on the property are on the property outside the area should not suffer any critical root zone damage.

If you have any further questions please feel free to contact me at (678)499-9075

A handwritten signature in black ink, appearing to read "Joe Gresham", with a long horizontal flourish extending to the right.

Joe Gresham
ISA Certified Arborist
SO# 6341A

Casey Tree Experts, Inc.

PO Box 1276

Lilburn, GA 30048

(f) 770-972-1951

(o) 770-498-7000



Backyard Escapes
Michael Ely

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Alpharetta GA

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Joe Gresham
ISA Certified Arborist
SO# 6341A

Casey Tree Experts, Inc.

PO Box 1276

Lilburn, GA 30048

(o) 770-498-7000

(f) 770-972-1951

REES TO BE REMOVED

NUMBER	DIAMETER	NAME	CONDITION	NOTES
1	20"	EASTERN PINE	GOOD	LEFT REAR
2	22"	MAPLE	GOOD	LEFT REAR
3	16"	EASTERN PINE	GOOD	LEFT REAR
4	6"	MAPLE	THIN	LEFT REAR
5	18"	EASTERN PINE	GOOD	LEFT REAR
6	15"	MAPLE	GOOD	CENTER REAR
7	8"	EASTERN PINE	THIN	CENTER REAR
8	13"	OAK	GOOD	CENTER REAR
9	10"	ELM	THIN	CENTER REAR

NUMBER	DIAMETER	NAME	CONDITION	NOTES
10	11"	MAPLE	GOOD	CENTER REAR
11	9"	EASTERN PINE	THIN	CENTER REAR
12	11"	RIVER BERC	GOOD	TRIPPLE LEAD DRIVEWAY
13	13"	EASTERN PINE	GOOD	CENTER REAR
14	13"	TULIP POPLAR	GOOD	CENTER REAR
15	12"	DOUGLAS MAPLE	GOOD	DOUBLE LEAN CENTER REA
16	8"	RED MAPLE	THIN	CENTER REAR
17	15"	TULIP POPLAR	GOOD	CENTER REAR

REES TO BE REMOVED

NUMBER	DIAMETER	NAME	CONDITION	NOTES
1	20"	EASTERN PINE	GOOD	LEFT REAR
2	22"	MAPLE	GOOD	LEFT REAR
3	16"	EASTERN PINE	GOOD	LEFT REAR
4	6"	MAPLE	THIN	LEFT REAR
5	18"	EASTERN PINE	GOOD	LEFT REAR
6	15"	MAPLE	GOOD	CENTER REAR
7	8"	EASTERN PINE	THIN	CENTER REAR
8	13"	OAK	GOOD	CENTER REAR
9	10"	ELM	THIN	CENTER REAR

NUMBER	DIAMETER	NAME	CONDITION	NOTES
10	11"	MAPLE	GOOD	CENTER REAR
11	9"	EASTERN PINE	THIN	CENTER REAR
12	11"	RIVER BERC	GOOD	TRIPPLE LEAD DRIVEWAY
13	13"	EASTERN PINE	GOOD	CENTER REAR
14	13"	TULIP POPLAR	GOOD	CENTER REAR
15	12"	DOUGLAS MAPLE	GOOD	DOUBLE LEAN CENTER REA
16	8"	RED MAPLE	THIN	CENTER REAR
17	15"	TULIP POPLAR	GOOD	CENTER REAR



P.O.C.
THE INTERSECTION OF
EBLEY PL (44' R/W) & HEBDEN BRIDGE LN. (50' R/W)
IF THE R/W LINES WERE EXTENDED TO FORM AN
INTERSECTION RATHER THAN A CURVE

1. REFERENCE FOR THIS SURVEY SHOULD BE MADE TO THE FINAL
PLAN FOR GLEN ABBEY SUBDIVISION, UNIT VI, PREPARED
BY TRAVIS PRUITT & ASSOCIATES, INC., RECORDED IN PLAT BOOK
215, PAGES 43-48, FULTON COUNTY, GEORGIA RECORDS.
2. NO PORTION OF THE PROPERTY IS LOCATED WITHIN A DESIGNATED
FLOOD HAZARD AREA PER FULTON COUNTY (F.I.R.M.) PANEL
NO. 13121C0087F, DATED SEPTEMBER 18, 2013.

ALL SETBACKS SHOWN FROM CLOSEST POINT

- ZONING: CUP
MINIMUM YARD REQUIREMENTS:
35' FRONT SETBACK
7.5' SIDE YARD SETBACK
25' REAR YARD SETBACK

CERTIFICATION

IN MY OPINION THIS PLAT IS A CORRECT
REPRESENTATION OF THE LAND PLATTED
AND HAS BEEN PREPARED IN CONFORMITY
WITH THE MINIMUM STANDARDS AND THE
REQUIREMENTS OF THE LAW.

Chris H. Roberts

CHRIS H. ROBERTS
Georgia Registered Land Surveyor No. 3218

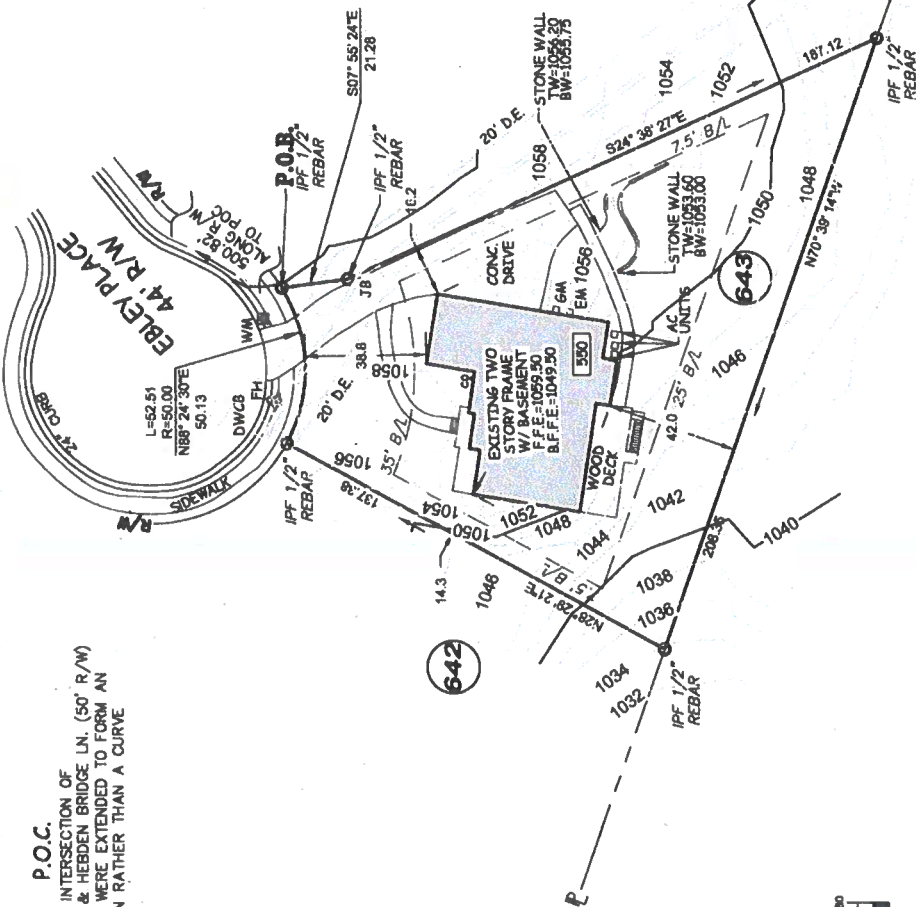
LEGEND

- IPF = IRON PIN FOUND
R/W = RIGHT OF WAY
P.C. = CENTERLINE
P.L. = PROPERTY LINE
FH = EXIST. FIRE HYDRANT (⊗)
WM = WATER METER
F.I.R.M. = FEDERAL INSURANCE RATE MAP
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
S/Y = SIDE YARD
BL = BUILDING LINE
GI = GRATE INLET
PP = POWER POLE
EOP = EDGE OF PAVEMENT
BOC = BACK OF CURB
C.A. = COMMON AREA

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



DATE:	ISSUE	NO.	DATE
JUNE 22, 2023	DESCRIPTION		
SCALE: HORIZ. 1"=40'			
ACREAGE: 0.42 ACRES			
SQ. FT.: 18,174 SQ. FT.			
LAND LOTS: 41			
DISTRICT: 1ST			
SECTION: 1ST			
COUNTY: FULTON STATE: GA			
SURVEYED: RE: DRAWN: CHR			
CHECKED: CHR APPROVED: CHR			

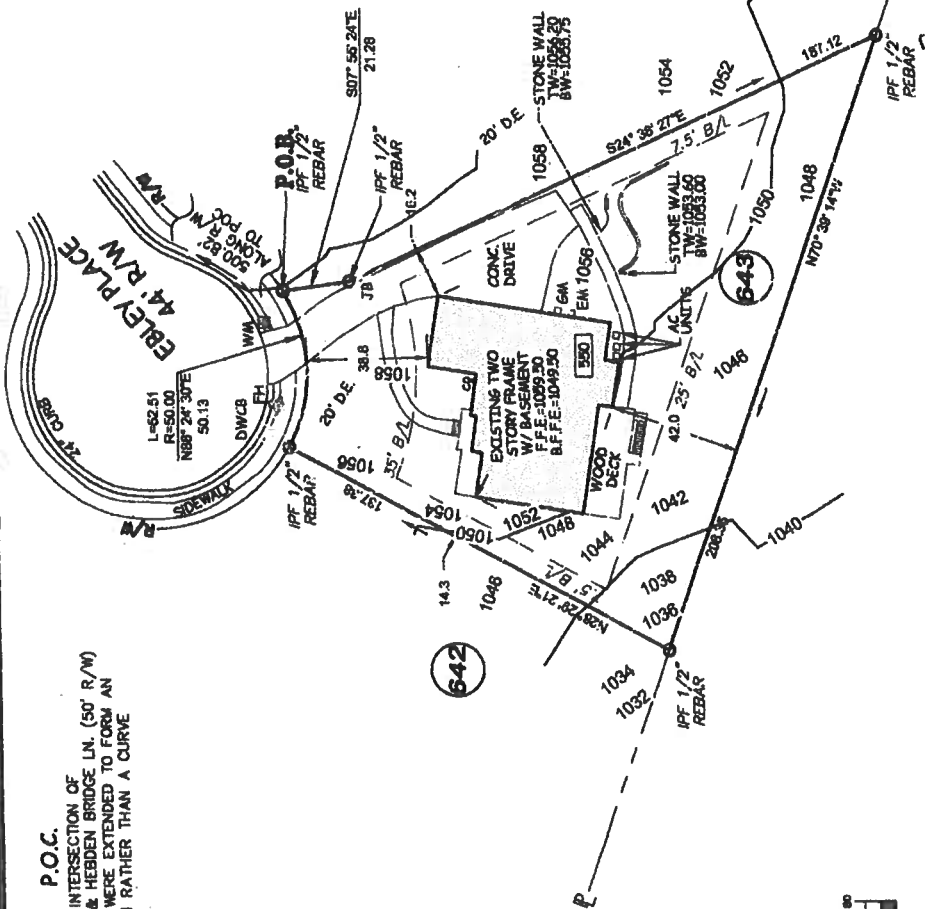
TOPOGRAPHIC SURVEY FOR
MATTHEW AND CAMIE CHRISTENSEN

680 EBLEY PLACE
GLEN ABBEY, UNIT VI
LAND LOT 41, 1ST DISTRICT, 1ST SECTION
FULTON COUNTY, GEORGIA
0.42 ACRES (BEING 18,174 SQ. FT.)



SHEET **1** OF **1**

Southeastern
Surveying
olutions, LLC
678-480-0972



P.O.C.
THE INTERSECTION OF
EBLEY PL (44' R/W) & HEDDEN BRIDGE LN (50' R/W)
IF THE R/W LINES WERE EXTENDED TO FORM AN
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ZONING: CLP
MINIMUM YARD REQUIREMENTS:
35' FRONT SETBACK
7.5' SIDE YARD SETBACK
25' REAR YARD SETBACK

CERTIFICATION

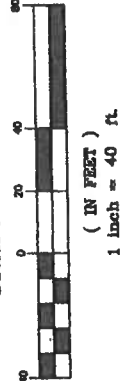
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CHRIS H. ROBERTS
Georgia Registered Land Surveyor No. 3218

LEGEND

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- P.C. = CENTERLINE
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GRAPHIC SCALE



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SURVEYED: RE DRAWN: CHR						
CHECKED: CHR						
APPROVED: CHR						

TOPOGRAPHIC SURVEY FOR
MATTHEW AND CAME CHRISTENSEN
SSD EBLEY PLACE
GLEN ABBEY, UNIT VI
LAND LOT 41, 1ST DISTRICT, 1ST SECTION
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0.42 ACRES (BEING 18,174 SQ. FT.)



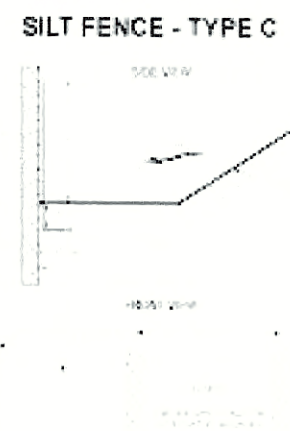
SHEET **1** OF **1**

Southeastern
Surveying
olutions, LLC
678-480-0972

EROSION & GENERAL DETAIL:

The logo for the Georgia Soil and Water Conservation Commission (GSWCC) is displayed, featuring a stylized water drop and the text "GSWCC" in large, bold letters, with "GEORGIA SOIL AND WATER CONSERVATION COMMISSION" in smaller text below it. Below the logo, the name "Charles W Button" is printed, followed by "Level IA Certified Personnel". At the bottom, the certification number "0000083697" is shown, along with the issue date "07/22/2021" and the expiration date "07/22/2024".

24hr Contact Number:
Charles Button 678-794-9360
GSWCC Level 1A 000008369



MAINTENANCE:
THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

ZNO - CONCRETE WASH OUT
DESIGNATE WASHDOWN AREA AND EXCAVATE PIT LARGE ENOUGH TO CONTAIN WASHDOWN WATER. THIS MUST BE AWAY FROM STORM DRAINS AND WATERWAYS. THE PIT WILL BE ENCLOSED WITH SD-15 SILT FENCE AND STEAKED STRUT BAILS. ADVISE CONCRETE TRUCK DRIVERS OF THE DESIGNATED WASH-OUT AREAS BEFORE THEY START THE JOB. WASHDOWN CHUTE, HOPPER, AND REAR OF VEHICLE ONLY. DO NOT WASH OUT DRUM. ENSURE THAT ALL WASHDOWN WATER STAYS IN PIT. DISPOSE OF SETTLED, HARDENED CONCRETE IN GARBAGE WITH OTHER CONSTRUCTION DEBRIS. NEVER DISPOSE OF WASHDOWN WATER IN STREETS, STORM DRAINS, OR STREAMS

TREES SAVED:

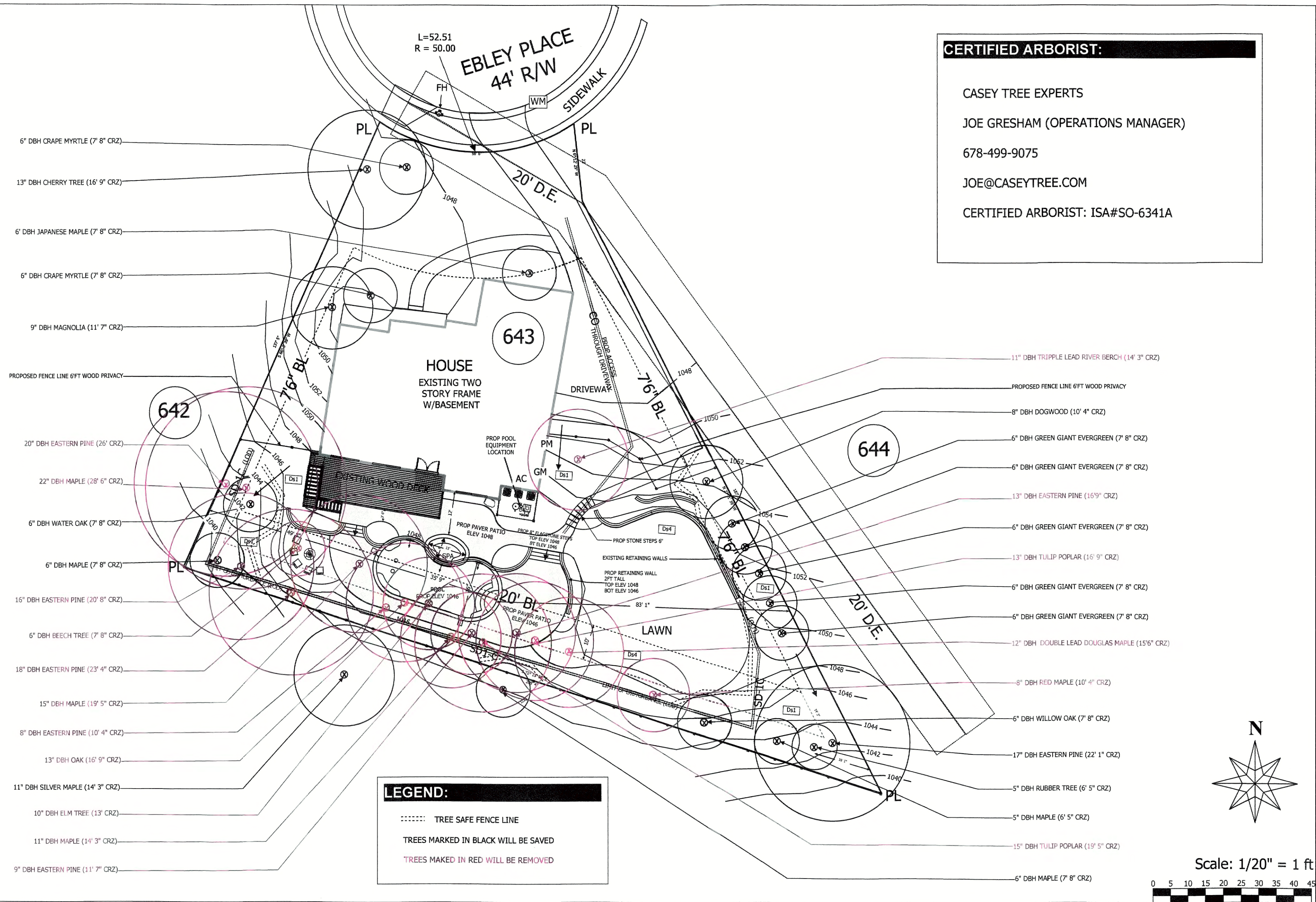
TREES TO BE SAVED

NUMBER	DIAMETER	NAME	CONDITION	NOTES	IMPACT
1	6"	CRAPE MYRTLE	GOOD	FRONT SIDE WALK	0%
2	13"	CHERRY	GOOD	FRONT LEFT SIDE WALK	0%
3	6"	JAPANESE MAPLE	GOOD	RIGHT FRONT DRIVEWAY	0%
4	6"	CRAPE MYRTLE	GOOD	FRONT LEFT PORCH	0%
5	8"	MAGNOLIA	GOOD	LEFT FRONT PORCH	0%
6	6"	WATER OAK	THIN	LEFT REAR BY DECK	0%
7	8	MAPLE	THIN	LEFT REAR CORNER	0%
8	11"	SILVER MAPLE	GOOD	NOT ON PROPERTY	0%
9	8"	DOGWOOD	GOOD	RIGHT SIDE DRIVEWAY	0%

TREES TO BE SAVED

NUMBER	DIAMETER	NAME	CONDITION	NOTES	IMPACT
10	6"	GREEN GIANT	GOOD	RIGHT REAR FENCE	0%
11	6"	GREEN GIANT	GOOD	RIGHT REAR FENCE	0%
12	6"	GREEN GIANT	GOOD	RIGHT REAR FENCE	0%
13	6"	GREEN GIANT	GOOD	RIGHT REAR FENCE	0%
14	6"	GREEN GIANT	GOOD	RIGHT REAR FENCE	0%
15	6"	WILLOW OAK	THIN	REAR FENCE LINE	0%
16	17	EASTER PINE	GOOD	RIGHT REAR CORNER	0%
17	5"	RUBBER TREE	THIN	RIGHT REAR CORNER	0%
18	6"	MAPLE	THIN	RIGHT REAR CORNER	0%

DBH X 1.3 = CRITICAL ROOT ZONE (CRZ)



TREE REMOVAL:

TREES TO BE REMOVED

NUMBER	DIAMETER	NAME	CONDITION	NOTES
1	20"	EASTERN PINE	GOOD	LEFT REAR
2	22"	MAPLE	GOOD	LEFT REAR
3	16"	EASTERN PINE	GOOD	LEFT REAR
4	6"	MAPLE	THIN	LEFT REAR
5	18"	EASTERN PINE	GOOD	LEFT REAR
6	15"	MAPLE	GOOD	CENTER REAR
7	8"	EASTERN PINE	THIN	CENTER REAR
8	13"	OAK	GOOD	CENTER REAR
9	10"	ELM	THIN	CENTER REAR

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15	12"	DOUGLAS MAPLE	GOOD	DOUBLE LEAN CENTER REAR
16	8"	RED MAPLE	THIN	CENTER REAR
17	15"	TULIP POPLAR	GOOD	CENTER REAR

PROPERTY INFO:

Wastewater: Sewer

CONTRACTOR INFO:**SCOPE OF WORK:**

~ PINE STRAW ANY DISTURBED AREAS FROM CONSTRUCTION

~ TREE REMOVAL (CASEY TREES

811 NOTES:

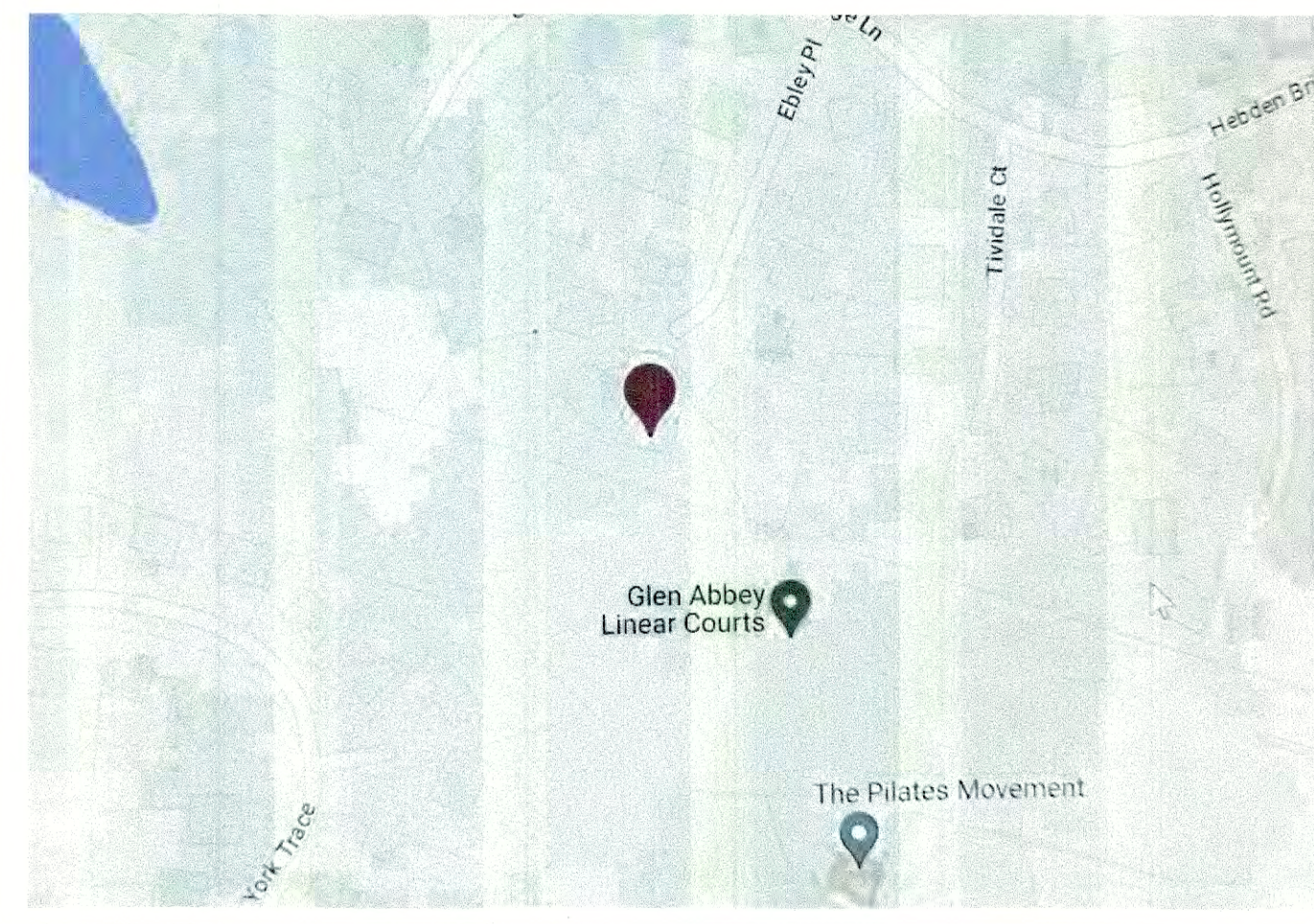
72 hours of notice is required to Georgia 811 Utility Protection Center before any land disturbance activities can begin.



SITE PLAN NOTES:

ISSUE FOR CONSTRUCTION: INGROUND CONCRETE HEATED SWIMMING POOL 35' 9" by 16'ft WITH SPILLOVER SPA 11'ft by 6'ft

VICINITY MAP:



EROSION & GENERAL DETAIL:

- ~ The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures prior to land disturbing activities.
- ~ Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
- ~ Disturbed areas left idle 14 days shall be stabilized with temporary vegetation and mulch disturbed areas remaining idle 30 days shall be stabilized with permanent vegetation.
- ~ Erosion and sediment control measures shall be inspected at least daily, after each rain, and repaired as necessary.
- ~ Additional erosion and sediment control measures shall be installed if determined necessary by on site inspection.
- ~ Silt fence shall be "type C" as per the manual for erosion and sediment control in Georgia.
- ~ The design professional affirms that the site was visited prior the preparation of the site plan by himself or his authorized agent under his supervision.

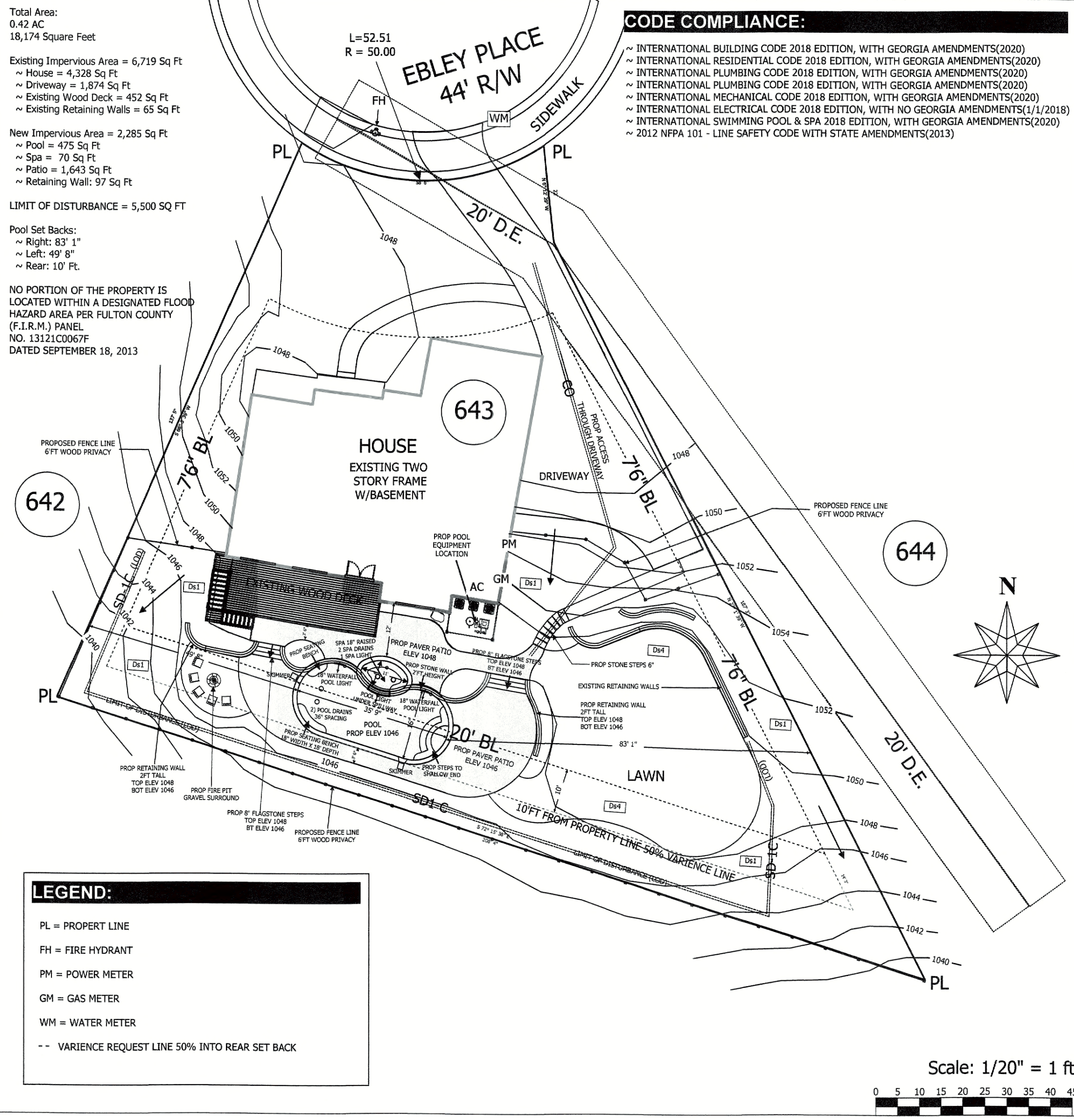
MAINTENANCE:

- ~ Sediment shall be removed once it has accumulated to one-half the original height of the barrier. Filter fabric shall be replaced whenever it has deteriorated to such an extent that the effectiveness of the fabric is reduced (Approximately six months).
- ~ Temporary sediment barriers shall remain in place until disturbed areas have been permanently stabilized. All sediment accumulated at the barrier shall be removed and properly disposed of before the barrier is removed.
- 24hr Contact Number:
Charles Button 678-794-9360
GSWCC Level 1A 000008369
- Ds1 - DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
Using plant residues or other suitable materials on the soil surface to reduce runoff and erosion, conserve moisture, prevent soil compaction and crusting, control undesirable vegetation, modify soil temperature and to increase biological activity in the soil. This practice is applicable where stabilizing disturbed or denuded areas is not practical utilizing seeding or planting.
- Ds2 - DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
A temporary vegetative cover with fast growing seedlings for disturbed or denuded areas. This practice is applicable for up to six months or until permanent vegetative cover can be installed. It should be coordinated with permanent measures to assure economical and effective stabilization. Techniques for establishing temporary cover utilizing both conventional and hydraulic seeding equipment are included.
- Ds3 - DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
A permanent vegetative cover such as trees, shrubs, vines, grasses and legumes on disturbed or denuded areas. It will apply on cut and fill slopes, earth spillways, borrow areas, spoil areas and severely eroded or gullied lands. Techniques utilizing both conventional and hydraulic seeding equipment are discussed.
- Ds4 - DISTURBED AREA STABILIZATION (WITH SODDING)
A permanent vegetative cover using sods on highly erodible or critically eroded lands. Sods provide immediate ground cover and help filter sediments and nutrients.

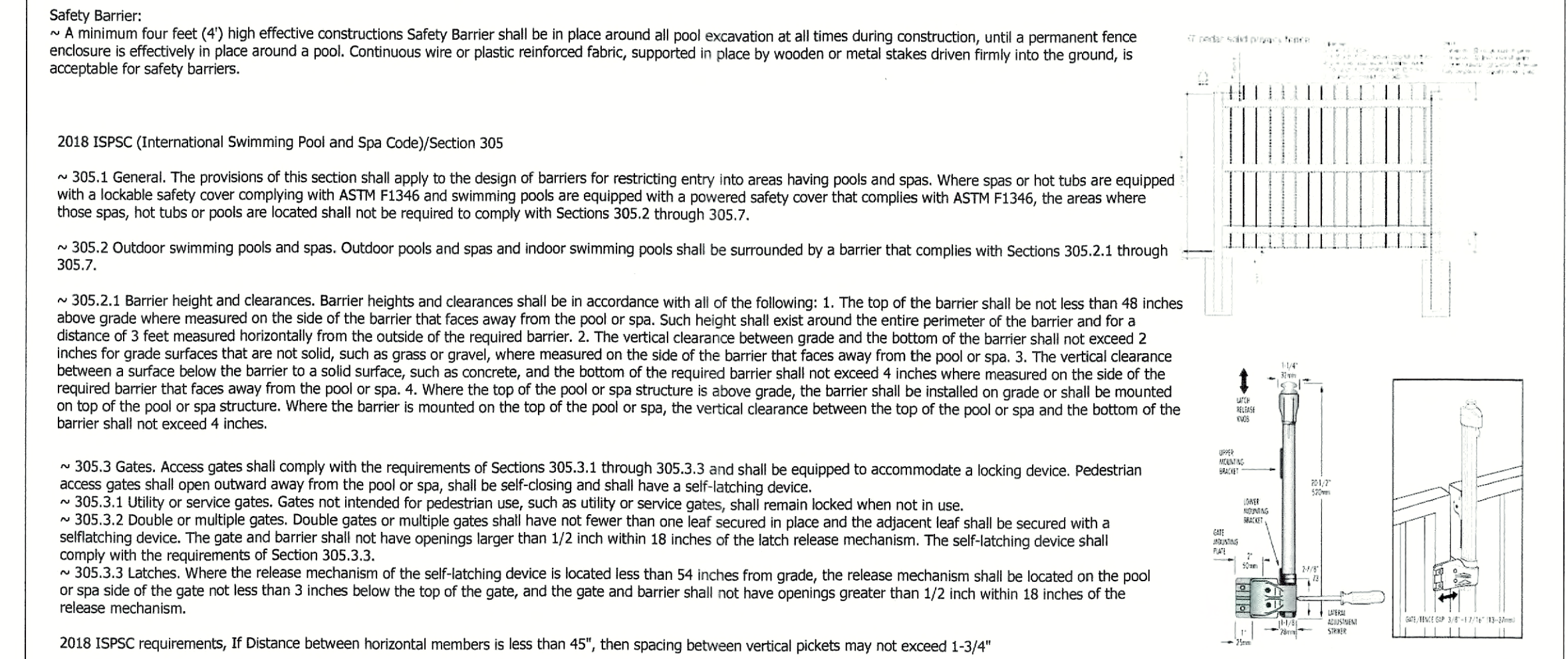
CO - CONSTRUCTION ENTRANCE
A STONE STABILIZED PAD SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE TO A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, SIDEWALK, PARKING AREA, OR ANY OTHER AREA WHERE THERE IS A TRANSITION FROM BARE SOIL TO A PAVED AREA.

MAINTENANCE:
THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

CWO - CONCRETE WASH OUT
DESIGNATE WASHDOWN AREA AND EXCAVATE PIT LARGE ENOUGH TO CONTAIN WASHDOWN WATER. THIS MUST BE AWAY FROM STORM DRAINS AND WATERWAYS. THE PIT WILL BE ENCLOSED WITH SODS, SILT FENCE AND STEAKED STRAW BALS. ADVISE CONCRETE TRUCK DRIVERS OF THE DESIGNATED WASH-OUT AREAS BEFORE THEY START THE JOB. WASHDOWN CHUTE, HOPPER, AND REAR OF VEHICLE ONLY. DO NOT WASH OUT DRUM. ENSURE THAT ALL WASHDOWN WATER STAYS IN PIT. DISPOSE OF SETTLED, HARDENED CONCRETE IN GARBAGE WITH OTHER CONSTRUCTION DEBRIS. NEVER DISPOSE OF WASHDOWN WATER IN STREETS, STORM DRAINS, OR STREAMS

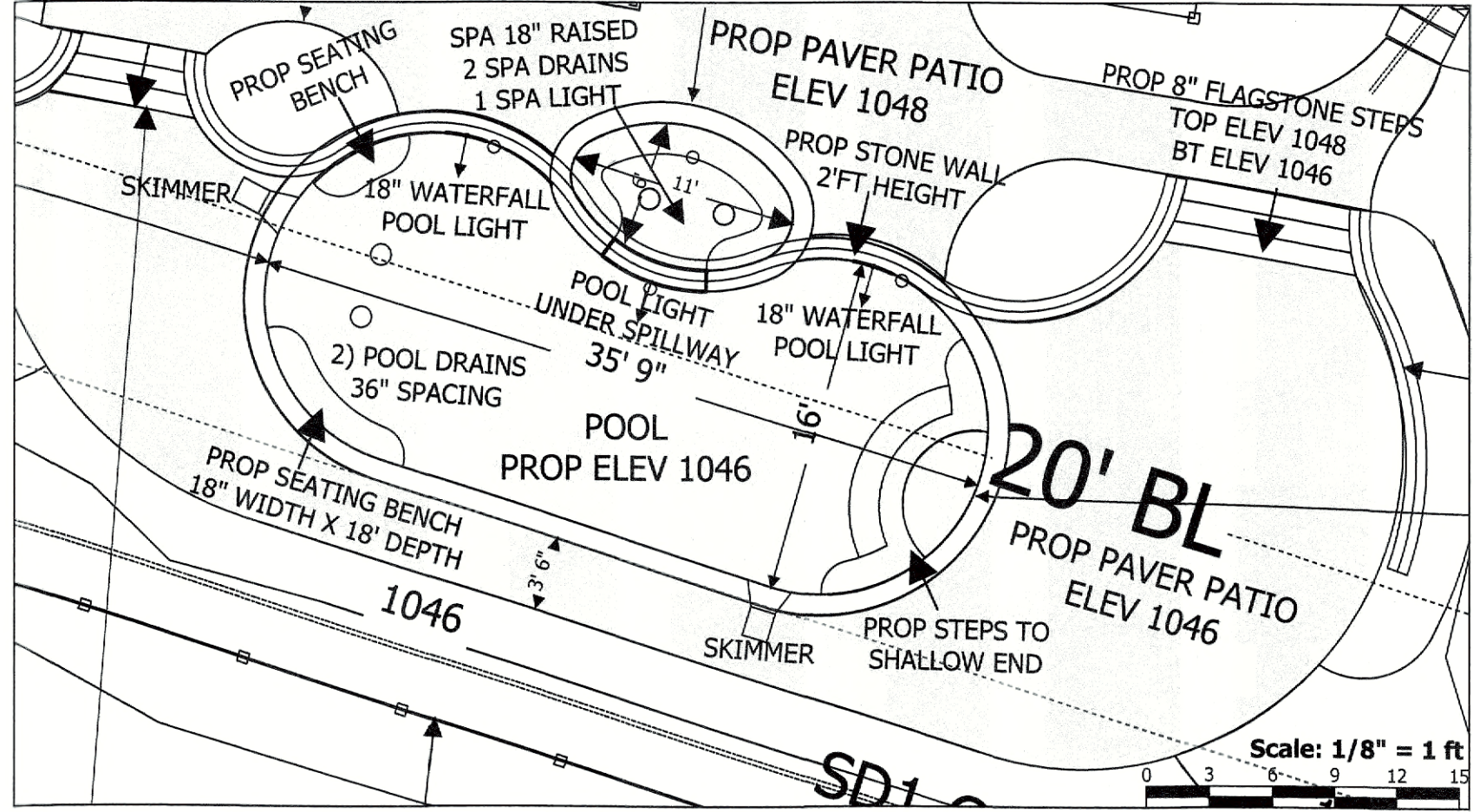
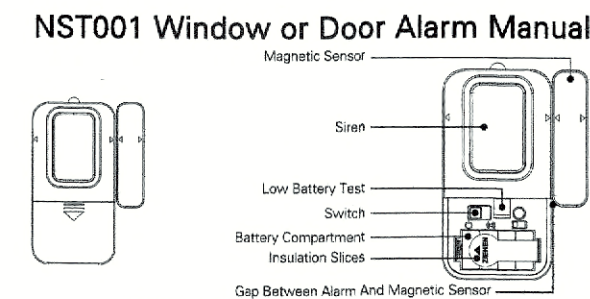


FENCE DETAIL: PROPOSED 6'FT WOOD PRIVACY



ALARM DETAIL:

- ~ All doors and windows that allow access to a swimming pool should be equipped with an audible alarm which sounds when the door and/or screen are opened.
- ~ Alarms will meet the requirements of UL 2017 General-Purpose Signaling Devices and Systems, Section 77



POOL & SPA DETAIL:

- Type: Inground Concrete Swimming Pool
Envelope: Pool = 35' 9" Length by 16' Width
Spa = 10'ft Length by 7'ft Width
Perimeter: Pool = 82' Liner Feet
Spa = 30' Liner Feet
Area: Pool = 475 sq ft
Spa = 70 sq ft
Depth: Pool = 3'6" to 5' to 8'
Spa = 3'
Volume: Pool = 18,000 Gallons
Spa = 1,200 Gallons
Interior Finish: Mini Pebble
Coping Material: Flagstone
Pool & Spa Plumbing: Pool Plumbing 1.5"-2" PVC SCH40
~ 15 PSI Water Test
~ 3) Pool Jets 1 1/2" PVC
~ 1) Pool Sweep Jet 1 1/2" PVC, Dedicated Line For Cleaner
~ 2) Top Water Skimmers, 2"PVC
~ 2) Bottom Drains 2" PVC
~ 2) Waterfalls, 18"inch Width
~ 3) Pool Lights, Low Voltage 12 Volts
~ 1) Pool Light Low Voltage Transformer
Spa Plumbing 2" PVC SCH 40
~ 2) Spa Jets
~ 2) Spa Drains
~ 1) Spa Blower Line
~ 1) Spa Light, Low Voltage 12 Volts
~ 1) Spa Light Low Voltage Transformer
Pool & Spa Equipment: 1) Pool & Spa Pump, Hayward Tri Star VS, 2.7HP, 240 Volts
1) Pool Filter, Hayward Cartridge Swim Clear, C3040,
1) Saltwater System with T-Cell
1) Pool/Spa Heater, 400k BTU Natural Gas, 240Volt
1) Spa Blower, 2 HP, 240Volts
1) Pool Operation System,
~Built In Timer + Freeze Protections
NO BACKWASH LINE
NO WATERFILL LINE OR BACKFLOW

- Rebar Notes:
~ #3 (3/8") Rebar SCHED . 40 SPEC 615 Used Throughout Pool Except In Beam
~ Steel Will Be 12"O.C. Except In Bond Beam
~ Bond Beam Will Be 4 Bars #3 (3/8")
~ All Steel To Be Continuous By Splicing
~ All Splices Should Be Approximately 18" With A Minimum Of 12" and 2 Ties
~ All Steel Will Be Blocked 2" Off Dirt
~ Add #3 @ 10" Long @ 12" VERT Making A Total Of #3 VERT @ 6"O.C. #3 To Begin 2' Into The Floor & Extend Upward Into The Wall Add #3 @ 6"O.C. Into Shallow End Extending Down Break 2' Deep Into Deep End Floor

- Equipment Bonding and Bonding Grid:
~ All Bonding Shall Be Done In Accordance With Section 680.26 of The National Electrical Code(NEC)
~ Continuous Bonding Grid Connected To Pool Steel and Grounding Rod At Pool Equipment

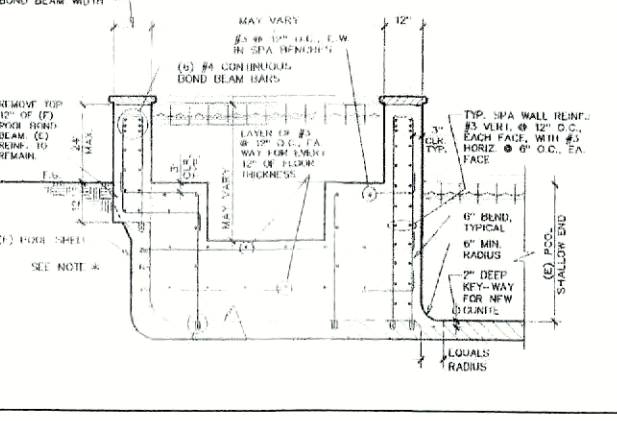
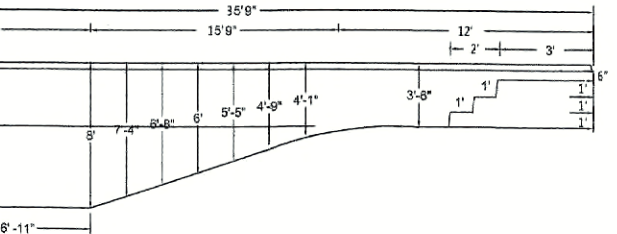
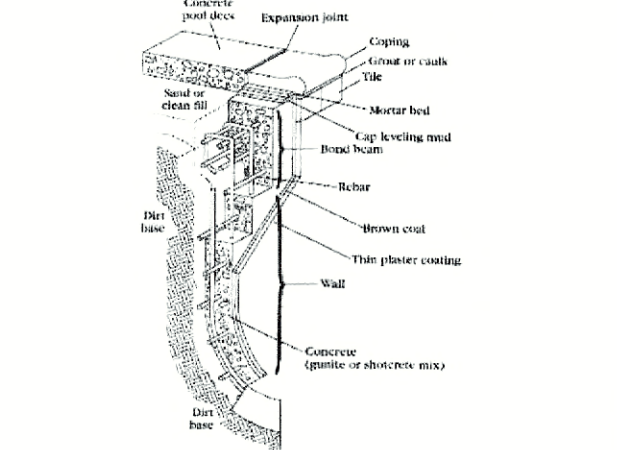
RETAINING WALL & STEP DETAIL:

- Type: Poured Concrete Retaining Wall, With Stack Stone Veneer
Length: 96' Total Liner Feet
Height: 24" Inch Tall
Square Feet: 96 Square Feet
Steps: 2 Step Locations Down To Lower Pool Patio
5'ft Width by 8" Inch Riser Height, Step On Left Side Of Pool
8'ft Width by 8" Inch Riser Height, Step On Right Side Of Pool
40' Liner Feet Of Total Steps

PATIO DETAIL:

- Lower Patio: 754 Square Feet
Upper Patio: 906 Square Feet
Total Patio: 1660 Square Feet
Notes: Install A Compacted Gravel Sub Floor 4"-6" Thick
Install M10 Granite Fine To Level Sub Floor 1"thick
Install Polymeric Sand Between Paver Joints

TABLE NO. 1			
POOL SIZE	POOL DEPTH	POOL VOLUME	POOL AREA
16' x 32'	4'	2,144 cu ft	512 sq ft
16' x 32'	5'	2,688 cu ft	512 sq ft
16' x 32'	6'	3,232 cu ft	512 sq ft
16' x 32'	7'	3,776 cu ft	512 sq ft
16' x 32'	8'	4,320 cu ft	512 sq ft
16' x 32'	9'	4,864 cu ft	512 sq ft
16' x 32'	10'	5,408 cu ft	512 sq ft
16' x 32'	11'	5,952 cu ft	512 sq ft
16' x 32'	12'	6,496 cu ft	512 sq ft
16' x 32'	13'	7,040 cu ft	512 sq ft
16' x 32'	14'	7,584 cu ft	512 sq ft
16' x 32'	15'	8,128 cu ft	512 sq ft
16' x 32'	16'	8,672 cu ft	512 sq ft
16' x 32'	17'	9,216 cu ft	512 sq ft
16' x 32'	18'	9,760 cu ft	512 sq ft
16' x 32'	19'	10,304 cu ft	512 sq ft
16' x 32'	20'	10,848 cu ft	512 sq ft
16' x 32'	21'	11,392 cu ft	512 sq ft
16' x 32'	22'	11,936 cu ft	512 sq ft
16' x 32'	23'	12,480 cu ft	512 sq ft
16' x 32'	24'	13,024 cu ft	512 sq ft
16' x 32'	25'	13,568 cu ft	512 sq ft
16' x 32'	26'	14,112 cu ft	512 sq ft
16' x 32'	27'	14,656 cu ft	512 sq ft
16' x 32'	28'	15,200 cu ft	512 sq ft
16' x 32'	29'	15,744 cu ft	512 sq ft
16' x 32'	30'	16,288 cu ft	512 sq ft



PROPERTY INFO:

Homeowner: Camie Christensen
Lot Size: 0.42 ACRES, 18,174 Sq. Ft.
Address: 550 Ebley Place
Alpharetta, Ga 30022
Parcel ID: 11 00300041042
Lot: 643
District: 1st Section: 1st
County: Fulton County, Georgia
Plat: Plat Book 215, Pages 43-48
Wastewater: Sewer

CONTRACTOR INFO:

Company: Backyard Escape Inc.
Address: 2165 Brannen Blvd.
Grayson, Ga 30017
Designer: Michael Ely
Phone: 678-794-9360
Email: Michael@BackyardEscapeInc.com
GSWCC: Level 1A 000008369
Business License: City Of Grayson #23-076
Company Name: Backyard Escape Inc.



SCOPE OF WORK:

- WORK PROPOSED BY BACKYARD ESCAPE INC.
- ~ TREE REMOVAL(CASEY TREES)
 - ~ INGROUND CONCRETE SWIMMING POOL
 - ~ INGROUND CONCRETE SPILLOVER SPA
 - ~ STACK STONE RETAINING WALL+ STEPS
 - ~ 2 WATERFALLS
 - ~ PAVER POOL PATIO
 - ~ ELECTRICAL SERVICE TO POOL PANEL
 - ~ GAS SERVICE TO POOL HEATER
 - ~ SOD REPAIRS
 - ~ PINESTRAW ANY REMAINING DISTURBED AREAS
- WORK BY HOMEOWNER OR OTHER CONTRACTOR
- ~ FENCE INSTALLATION

811 NOTES:

72 hours of notice is required to Georgia 811 Utility Protection Center before any land disturbance activities can begin.



SITE PLAN NOTES: