



BOARD OF ZONING APPEALS MAY 16, 2024

ALPHARETTA CITY HALL
COUNCIL CHAMBERS
2 PARK PLAZA
5:30 PM

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **APPROVAL OF MEETING MINUTES**
 - A. Approve Meeting Minutes April 18, 2024
4. **ITEMS FROM BOARD MEMBERS**
5. **ITEMS FROM STAFF**
6. **PUBLIC HEARING**
 - A. **V-24-11 Nixon/2110 Canton View Pool Variance**

Consideration of a variance to reduce the rear setback for a swimming pool from 20' to 11'. The property is located at 2110 Canton View and is legally described as being located in Land Lot 1197, 2nd District, 2nd Section, Fulton County, Georgia.
 - B. **V-24-15 Zafiratos/831 Smokehouse Court**

Consideration of a variance to reduce the rear setback from 35' to 25' to allow for a deck and screened porch replacement on a single-family detached home on 0.42 acres. The property is located in the Fairfax subdivision, which has a platted rear setback of 35'. The property is located at 831 Smokehouse Court and is legally described as being located in Land Lot 1274, 2nd District, 2nd Section, Fulton County, Georgia.
7. **ADJOURNMENT**



1. CALL TO ORDER

Chair Gelber called the meeting to order at 5:32 p.m.

2. ROLL CALL

A. Board Members Present

- o Marc Gelber
- o Kirk Driskell
- o Michael Gordy
- o Anne Holcombe
- o Donna Shaw Murphy
- o Dereje Teshale

B. Board Members Absent

- o Lisa Shippel

C. Staff Present:

- o Michael Woodman, Planning & Development Services Manager
- o Nikisha Mistry, GIS Specialist/Planner
- o Elle Taylor, Planning & Zoning Coordinator
- o Molly Esswein, City Attorney

3. APPROVAL OF MEETING MINUTES

- Approval of Corrected Meeting Minutes for November 16, 2023
 - ❖ Board Member Shaw-Murphy offered a motion to approve
 - Board Member Gordy seconded the motion.
 - Motion carried (6-0)
- Approval of Meeting Minutes for January 18, 2024
 - ❖ Board Member Gordy offered a motion to approve
 - Board Member Shaw-Murphy seconded the motion.
 - Motion carried (6-0)

4. ITEMS FROM BOARD MEMBERS

5. ITEMS FROM STAFF

6. PUBLIC HEARING

A. V-23-25 Busch/212 Brook Drive

Michael Woodman, Planning & Development Manager, presented consideration of a variance to reduce a front setback from 35' to 20' and side setback from 10' to 8' to allow for a garage addition. The property is located at 212 Brook Drive and is legally described as being located in Land Lot 1251, 2nd District, 2nd Section, Fulton County, Georgia.

The submitted request, if approved, would allow for the construction of a garage addition to the front of a single-family detached home with a reduced front setback of twenty feet (20') and western side setback of eight feet (8'). The applicant proposes to construct a one-car rear-loaded garage to create a motor court driveway. The subject property is located at 212 Brook Drive in the Meadow Brook Hills subdivision.

The 0.40-acre property is zoned R-15 (Dwelling, 'For-Sale', Residential) and developed with a two (2) story, 3,749 square foot single-family detached home built in 2019. Surrounding properties are zoned R-15 and are located in the Meadow Brook Hills subdivision.

Unified Development Code (UDC) Subsection 2.2.5(D) District Regulations requires a 35' front setback and ten-foot (10') side setback in the R-15 zoning district. The submitted application describes an approximately 264 square foot garage addition at the front of the existing home to create a motor court. A twenty-foot (20') front setback is proposed for the garage addition. Additionally, an eight-foot (8') side setback is proposed along the west property line. The garage addition has a depth of 22' and is twelve feet (12') wide. The garage addition will be connected to the home by a covered breezeway. In addition, the property owner proposes pervious pavers for the new driveway and walkway at the front of the home.

Of the 25 redeveloped lots in the Meadow Brook Hills subdivision, 52% have at least a three (3) car garage. In addition, there are several examples in the Downtown of similar motor court driveway configurations, including the locations listed below.

- Twelve on Canton Subdivision
- 339 Canton Street
- 351 Canton Street
- 255 Pebble Trail
- 11965 Haynes Bridge Road
- 11935 Haynes Bridge Road

- Presented rendering of existing home with one car garage.
- Discussed motor court area.
- Exhibit of Meadowbrook Hills Subdivision.
- Examples of Downtown Motor Courts.
- Exhibit of Front & Corner Setbacks
- Discussed Variance Review Criteria.

Staff reviewed the applicant's proposal against the review criteria for a variance. Similar motor court driveway configurations exist in the Downtown, and 52% percent of redeveloped lots in the Meadow Brook Hills subdivision have at least a three (3) car garage. Moreover, the applicant notified adjacent properties and received no objections from neighboring property owners.

There was discussion from the Board:

- There are examples of 4 homes less than 20' front setback.

The Applicant attended and requested any questions from the Board.

There was no public comment.

Applicant spoke and requested questions from the Board.

Staff's recommendation was to Approve V-23-25 212 Brook Drive Setback Variance, subject to the following conditions:

1. Garage addition shall be permitted as depicted on the site plan, labeled Exhibit A, with a 20' front setback and 8' side setback along the western property line.
2. Garage addition shall be substantially similar to the submitted renderings, labeled Exhibit B, with final approval by Staff.
3. Site landscaping shall comply with the approved ENG plan, dated 2/2/21, with landscaping installed prior to issuance of a Certificate of Completion.
4. Pervious paver material shall be used for the driveway and front walkway, as approved by Staff.

❖ Board Member Holcombe offered a motion to approve subject to the conditions that Michael laid out.

- Board Member Teshale seconded the motion.
- Motion carried (5-2) (Gordy, Shaw-Murphy)

B. V-24-09 265 Dania Drive

Michael Woodman, Planning & Development Manager, presented consideration of a variance to allow for a tear down and rebuild of a single-family detached home on 1.02 acres. A variance is requested to Unified Development Code (UDC) Subsection 2.2.1(D) AG agriculture, District Regulations to reduce the side setback on the south side of the property from 25' to 12.5'. The property is located at 265 Dania Drive and is legally described as being located in Land Lot 1177, 2nd District, 2nd Section, Fulton County, Georgia.

The submitted request, if approved, would reduce the side setback on the south side of the property by 50% to allow for a tear down and re-build of a new single-family detached home. The request would reduce the side setback from 25' to 12.5'. The subject property is located at 265 Dania Drive in the Dania Hills subdivision.

The 1.02-acre property is zoned AG (Agriculture) and developed with a one story, 1,301 square foot single-family detached home with a well and septic tank at the rear of the property. Surrounding properties are zoned AG to the north, south, and west and are located in the Dania Hills subdivision. Properties to the east are zoned R-15 (Dwelling, 'For-Sale' Residential) and are located in the Mayfield Place subdivision. The average home size in the Dania Hills subdivision is approximately 2,562 square feet. Approximately half of the properties in Dania Hills have a street-facing garage or carport with all other properties having a side- or rear-loaded garage. Homes in the subdivision consist primarily of one (1) and two (2) story homes with most on basements. Mr. Woodman presented a survey of the property.

Unified Development Code (UDC) Subsection 2.2.1(D) District Regulations identifies the AG side yard setback as twenty-five feet (25'). The AG zoning district requires a minimum lot size of five (5) acres, of which the lots in the Dania Hills subdivision were platted as one (1) acre lots, on average. The applicant proposes a 12.5' side setback on the south side of the property to accommodate an approximately 4,800 square foot single family detached home with a rear-loaded garage. Staff presented a site plan dated 2/23/24.

The applicant initially requested a 50% reduction of the front and side setbacks to save a specimen tree (52" Southern Red Oak) at the rear of the existing home. However, a petition was submitted by the neighborhood opposing that variance request. The applicant ultimately withdrew the front setback and side setback (north side) request and proceeded with a request to reduce the south side setback only. That variance request was denied by the Board of Zoning Appeals on November 16, 2023. Staff presented a new elevation.

Staff measured existing side setbacks throughout the Dania Hills subdivision and found that approximately 71% of the lots have a non-conforming side setback less than 25'. In addition, the subject property has an existing side setback on the north side of the property of approximately fifteen feet (15'), which is non-conforming.

Staff presented Table providing examples of variances approved to reduce building setbacks in the Dania Hills subdivision. Moreover, similar new home construction activities have been permitted on other lots in the subdivision as well as a Building Permits Table.

Staff presented

- Variance Criteria.
 - *There are extraordinary and exceptional conditions pertaining to the property due to its size. The AG zoning district requires a minimum five (5) acre lot size; however, the lots in Dania Hills subdivision are one (1) acre, on average. In addition, over 70% of the lots in the subdivision have non-conforming side setbacks less than 25', including the existing structure which has a non-conforming side setback on the north side of the property of approximately fifteen feet (15').*
 - *There are peculiar conditions on the property which adversely affect its reasonable use as currently zoned. The AG zoning district requires a minimum five (5) acre lot size; however, the lots in Dania Hills subdivision are one (1) acre, on average. In addition, over 70% of*

the lots in the subdivision have non-conforming side setbacks less than 25', including the existing structure which has a non-conforming side setback on the north side of the property of approximately fifteen feet (15').

- New Site Plan dated 2/23/24.
- Five Letters of objection relating to the proximity of the driveway relating to the north property line.

There was discussion from the Board:

- Per new Site Plan it appears that the driveway of the neighbor to the north of Applicant is very close, if not on the property line. Proposed driveway would be approximately 5'9" off of the property. Line.
- Footprint does not change.
- Reason for Hardship is AG Zoning.
- Single Story vs. Two Story.
- Side setback.
- Tree Saves.

Staff recommended approval of V-24-09 265 Dania Drive Setback Variance, subject to the following conditions:

1. Site layout shall be permitted as depicted on the site plan prepared by KRA, dated 2/23/2024, and with a 12.5' side setback on the south side of the property.
2. Tree #TOQ1 (17" Pecan) and #BO1 (38" Southern Red Oak) shall be saved and encroachment into the Critical Root Zone (CRZ) shall not exceed 20 percent, as approved by Staff.
3. Driveway width shall be limited to no more than 12' wide, not including the portion of the driveway directly in front of the garage. Driveway and portion of driveway directly in front of the garage shall maintain a 5' setback from the northern side property line.
4. Developer shall plant a row of evergreen trees and shrubs between the driveway and the northern property line, as well as along the southern property line and beginning at the 100' front setback line to the eastern edge of the proposed rear-loaded garage in order to provide a screen, as approved by Staff.

There was discussion from the Board:

- Per new Site Plan it appears that the driveway of the neighbor to the north of Applicant is very close, if not on the property line. Proposed driveway would be approximately 5'9" off of the property. Line.
- Footprint has not changed.
- Reason for Hardship is AG Zoning.
- Side setbacks less than 25' in Single Story & Two-Story homes.
- Tree Save Condition # 2.
- Redevelopment of lots on Dania Dr. – 195, 260 and 270 Dania Dr.
- This will be first new construction where side setbacks are less than 25'

Bryson Mercer, presented for the Applicant.

- Aerial of AG Zoning.
- Site Plan showing area of variance request.
- Front Elevation.
- After discussion with Neighbors:
 - Proposed Change to Condition #2 to remove Pecan tree.
 - Proposed change to Condition # 3. – “Driveway width shall be limited to no more than 12’ wide, not including the portion of the driveway directly in front of the garage. The driveway shall maintain an 8’ setback from the northern side property line, except for that portion directly in front of the garage which shall have no setback from the northern side property line. The driveway shall have a flare and 17’ radius beginning 8.6’ from the beginning of the front of the garage.”
 - Proposed Change to Condition # 4 - Developer shall plant a row of evergreen trees and shrubs between the driveway and the northern property line, as well as along the southern property line and beginning at the 100’ front setback line to the western edge of the proposed rear loaded garage in order to provide a screen, as approved by Staff.

Applicant stated that if the application is denied today, there is nothing restricting the location of the driveway.

Public Comment:

In Opposition:

1. Nicholas Cardamone, 255 Dania Dr.

- Agreeable to Conditions as it stands today with the intention of moving forward to more changes with City Council.
- Largest Concern is setting a precedent.
- 260 and 270 Dania Dr. are new homes and as far as neighbors know; they conform to 25’ setbacks. They both received Administrative Variances to the front setbacks of their property.
- Largest concern is proximity of driveways to each other.
- New Conditions.
- Potentially driveway of 255 Dania Dr. does already encroach on property of 265 Dania Dr.
- Would like to work toward an easement agreement in additions to 8’ setback in Condition #3.
- Working with Applicant in good faith to go to City Council on June 3 to have more distance between the driveways.
- Clarification that Neighbors are requesting removal of Pecan Tree.

There was discussion from the Board:

- Sharing of information with neighborhood.
- Only 2 homes less than 25' setback.
- Clarified that Property Owner of 255 Dania Dr. is in favor of the Application with the Applicant Conditions presented today.
- Not an HOA Neighborhood.
- Staff would like more of an understanding of why removal of 17' Pecan tree is necessary; but appreciates Applicant working with neighbors to find common ground. Applicant stated that he is able to take this application to City Council to request additional variance on the southern boundary to accommodate additional distance between the driveway and the northern property boundary. In order to accommodate moving the home further south, Applicant requests to remove the Pecan Tree as well as to alleviate potential concerns about septic field from neighbors.
- Clarified that neighbor to the South of the property agrees.
- Pecan tree is not a specimen tree, but recompense will be required.
- Staff does not have any issues with removal if neighbors agree.

❖ Board Member Gordy offered a motion to approve subject to the four conditions with site layout being this new dated 2/23/24 and with the new written conditions that have been proposed.

- Board Member Holcombe seconded the motion.
- Motion carried (5-2(Shaw-Murphy))

There was discussion during the motion that Staff agrees with the proposed conditions.

There was clarification that Staff can not speak to whether all neighbors agree with proposed changes to conditions.

Final Conditions:

1. Site layout shall be permitted as depicted on the site plan prepared by KRA, dated 2/23/2024, and with a 12.5' side setback on the south side of the property.
2. Tree #BO1 (38" Southern Red Oak) shall be saved and encroachment into the Critical Root Zone (CRZ) shall not exceed 20 percent, as approved by Staff.
3. Driveway width shall be limited to no more than 12' wide, not including the portion of the driveway directly in front of the garage. The driveway shall maintain an 8' setback from the northern side property line, except for that portion directly in front of the garage which shall have no setback from the northern side property line. The driveway shall have a flare and 17' radius beginning 8.6' from the beginning of the front of the garage.
4. Developer shall plant a row of evergreen trees and shrubs between the driveway and the northern property line, as well as along the southern property line and beginning at the 100' front setback line to the western boundary of garage in order to provide a screen, as approved by Staff.

7. ADJOURNMENT

The meeting was adjourned at 6:35 p.m.



BOARD OF ZONING APPEALS MEETING STAFF REPORT

SUBMITTING DEPARTMENT: COMMUNITY DEVELOPMENT

SUBMITTED BY: KATHI COOK

DRAFTED BY: NIKISHA MISTRY

I. AGENDA ITEM TITLE: V-24-11 NIXON/2110 CANTON VIEW POOL SETBACK VARIANCE

BOARD OF ZONING APPEALS: MAY 16, 2024

II. RECOMMENDATION:

Approve V-24-11 Nixon/2110 Canton View Pool Setback Variance, subject to the following conditions:

1. Swimming pool shall be permitted as depicted on the plans prepared by Georgia Classic Pools, dated 9/1/21 and with an 11' rear setback.
2. Any impacted landscaping shall be replaced along the southern and eastern property line to provide a screen to adjacent properties.

III. REPORT IN BRIEF:

The applicant, Ashley Dover, is requesting consideration of a variance to reduce the rear setback for a pool from twenty feet (20') to eleven feet (11'). The subject property is located at 2110 Canton View in the Twelve on Canton subdivision.

DISCUSSION

The submitted request, if approved, would allow for a swimming pool at the rear of a single-family home with a reduced rear setback of eleven feet (11'). The subject property is located at 2110 Canton View in the Twelve on Canton Subdivision.

The 0.64-acre property is zoned R-10 (Dwelling, 'For-Sale', Residential) and developed with a 2-story, 5,540 square foot single-family detached home. Surrounding properties to the east and south are zoned R-15 (Dwelling, 'For-Sale', Residential). The properties to the north and west are zoned R-10 and located in the Twelve on Canton subdivision.

Unified Development Code (UDC) Subsection 2.3.3(B) Accessory uses and structures – Swimming Pools, requires swimming pools and auxiliary structures to maintain a twenty-foot (20') setback from the rear and side property lines or the same setback as the principal structure, whichever is less. The property has a 25' rear setback and a ten-foot (10') side setback; therefore, the twenty-foot (20') setback applies to the rear and the ten-foot (10') setback applies to the side.

The proposed site plan depicts a 615 square foot swimming pool at the rear of the existing home. An eleven-foot (11') rear setback is proposed for the pool. In the Twelve on Canton subdivision, eight (8) out of the twelve (12) homes have pools in the rear yard. The average surface area of the pools in this subdivision is approximately 416 square feet.

VARIANCE REQUIREMENTS

The City of Alpharetta Unified Development Code Article IV, Section 4.5.3 outlines the criteria set forth for granting a hardship variance. The ordinance specifically states..."a variance may be granted in whole or in part, or with conditions, in such individual case of unnecessary hardship upon a finding that":

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography; or

Response: The property is a corner lot which fronts a collector street, Canton Street, and requires a larger front and side corner setback than other homes in the Twelve on Canton subdivision, limiting the amount of space to build a pool at the rear of the home.

2. The application of the Ordinance to this particular piece of property would create an unnecessary hardship; or

Response: Application of the ordinance would either significantly reduce the footprint of the pool or force the pool to be placed very close to the home. The property is a corner lot which fronts a collector street, Canton Street, and requires a larger front and side corner setback than other homes in the Twelve on Canton subdivision, limiting the amount of space to build a pool at the rear of the home.

3. There are conditions that are peculiar to the property which adversely affect its reasonable use or usability as currently zoned; or

Response: The property is a corner lot which fronts a collector street, Canton Street, and requires a larger front and side corner setback than other homes in the Twelve on Canton subdivision, limiting the amount of space to build a pool at the rear of the home.

4. Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of the Ordinance.

Response: Relief should not cause substantial detriment to the public good. The property is a corner lot which fronts a collector street, Canton Street, and requires a larger front and side corner setback than other homes in the Twelve on Canton subdivision, limiting the amount of space to build a pool at the rear of the home. In addition, the applicant notified the adjacent properties and the Twelve on Canton HOA and received no objection.

CONCURRENCES

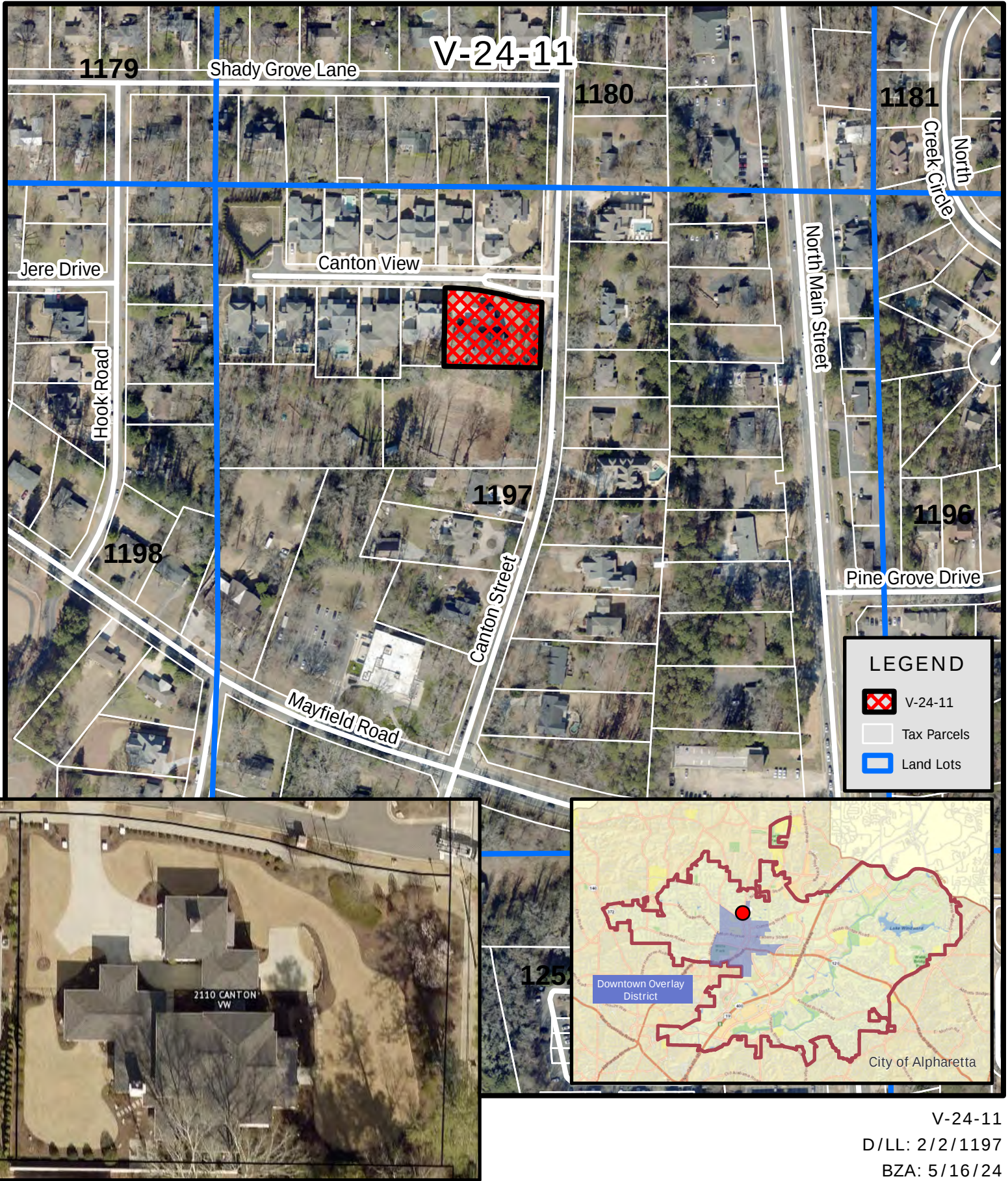
Staff has reviewed the applicant's proposal and generally supports the rear setback variance for the swimming pool. The property is a corner lot which fronts a collector street, Canton Street, and requires a larger front and side corner setback than other homes in the Twelve on Canton subdivision, limiting the amount of space to build a pool at the rear of the home. In addition, the applicant notified the adjacent properties and the Twelve on Canton HOA and received no objection.

CITIZEN PARTICIPATION PLAN

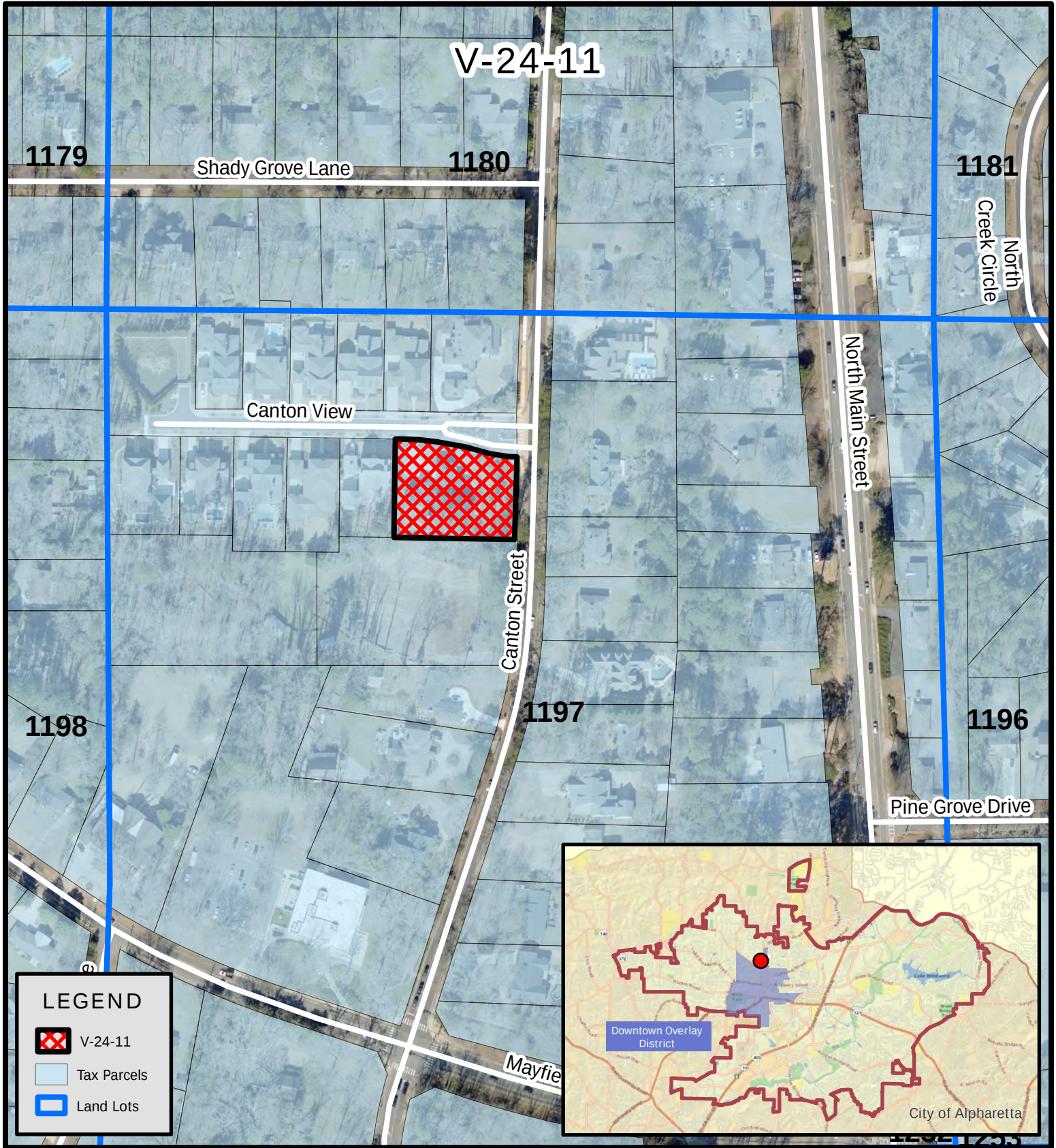
The applicant notified adjacent property owners of the variance request and intent for the property. The applicant provided letters of no objection from adjacent properties and from the Twelve on Canton HOA.

IV. ATTACHMENTS:

- Aerial Map
- Location Map
- Citizen Part B
- Application



V-24-11
D/LL: 2/2/1197
BZA: 5/16/24



V-24-11
D/LL: 2/2/1197
BZA: 5/16/24

CITIZEN PARTICIPATION FORM - PART B

This form must be completed and submitted to the City of Alpharetta Community Development Department a minimum of twenty (20) working days prior to the scheduled Public Hearing. Failure to do so will result in cancellation of the scheduled hearing.

Public Hearing or Project Name: Nixon Pool

Contact Name: Ashley Dover

Telephone: 404-863-2450

Please describe comments and concerns provided by any and all individuals contacted as part of the the Citizen Participation Program. If any individuals provided written correspondence, please attach copies of same to this report.

NO comments or concerns were provided by any neighboring properties or HOA.

The following people were notified via mail/letter:

HOA

Natasha Radden: 2120 Canton View

Rodney Barron: 284 Canton St

Method by which these individuals were contacted. Please mark all that apply. *Please provide samples of any and all written communications used to provide notification.*

☒

Letter

☐

Personal Visits

☐

Telephone

☐

Group Meeting

☐

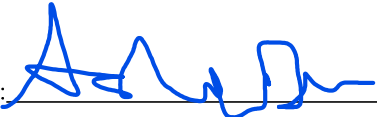
Email

☐

Other (Please Specify) _____

Attach a list of people who have been notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified.

I, the undersigned, as an authorized representative of the applicant and Public Hearing item identified above, do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Citizen Participation Form - Part B and in any and all documents provided in support of this report are true and accurate. I further understand that any false statements provided by representatives of the applicant as part of this report may result in penalties up to and including denial of the subject application.

Signature of Authorized Agent: 

Date: 4/18/2024

Print Form

3/27/24

Ashley Dover

1301 Iron Mountain Road

Canton, GA 30115

RE: Nixon Variance V-24-11

Dear Property Owner,

Please allow this letter to serve as a public notice for a variance request at 2110 Canton View Alpharetta, GA 30009 to decrease the rear setback from 20' to 11' to install a swimming pool.

This item will be considered by the Board of Zoning Appeals on Thursday May 16th at 5:30 PM. The meeting will be held in the Council Chambers at City Hall, 2 Park Plaza, Alpharetta, GA 30009.

If you have any questions regarding the request, please feel free to contact me at your convenience. I can be reached at 404-863-2450 or ashley@georgiaclassicpool.com.

Sincerely,

Ashley Dover

Georgia Classic Pool

CITY OF ALPHARETTA

PUBLIC HEARING APPLICATION

FOR OFFICE USE ONLY

Case #: V-24-11

PH #: _____

☐ Property Taxes & Code Violations Verified

☐ Fee Paid Initial: _____

COMMUNITY DEVELOPMENT DEPARTMENT

2 PARK PLAZA

ALPHARETTA, GA 30009

1. This page should be the first page in each of your completed application packets.
2. It is preferred that all responses be typed. Illegible applications will not be accepted.
3. Prior to signing and submitting your application, please check all information supplied on the following pages to ensure that all responses are complete and accurate. Incomplete applications will not be accepted.
4. Payment of all applicable fees must be made at the time of application. Payment may be made via cash, credit card (American Express, Master Card or Visa), or check made payable to "City of Alpharetta." Please note that a 3% convenience fee will be added to all credit card transactions.
5. Applications will be accepted on the designated submittal dates between the hours of 8:30 AM and 3:30 PM.
6. If you have any questions regarding this form, please contact the Community Development Department by calling 678-297-6070.

Contact Information:

Contact Name: Ashley Dover Telephone: 404-863-2450

Address: 1301 Iron Mtn Road Suite: _____

City: Canton State: GA Zip: 30115 Fax: _____

Mobile Tel: 404-863-2450 Email: ashley@georgiaclassicpool.com

Subject Property Information:

Address: 2110 Canton View Alpharetta, GA 30009 Current Zoning: R-15

District: _____ Section: _____ Land Lot: _____ Parcel ID: 22-481411970920

Proposed Zoning: _____ Current Use: Single family residential

This Application For (Check All That Apply):

- | | | |
|--|---|---|
| ☐ Conditional Use | ☐ Master Plan Amendment | ☐ Comprehensive Plan Amendment |
| ☐ Rezoning | ☐ Master Plan Review | |
| ☒ Variance | ☐ Public Hearing | |
| ☐ Exception | ☐ Other (Specify): _____ | |

APPLICANT REQUEST AND INTENT

What is the proposed use(s) of the property?

This is a residential single family home lot. We are proposing to build a swimming pool in the rear of the home.

Applicant's Request (Please itemize the proposal):

Request for a variance of 9 ft to the rear property line to allow a swimming pool.

Applicant's Intent *(Please describe what the proposal would facilitate).*

The proposal, if approved, would facilitate the construction of a swimming pool in the rear yard.

PROPERTY OWNER AUTHORIZATION

Property Owner Information:Contact Name: D'Lana NixonTelephone: 678-283-2112Address: 2110 Canton View

Suite: _____

City AlpharettaState: GAZip: 30009**Authorization:**

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of Fulton County, Georgia, of the property identified below, which is the subject of the attached Application for Public Hearing before the City of Alpharetta, Georgia.

As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Public Hearing in request of the items indicated below.

- | | |
|---|--|
| ☐ Annexation | ☐ Special Use |
| ☐ Rezoning | ☐ Conditional Use |
| ☒ Variance | ☐ Master Plan |
| ☐ Land Use Application | ☐ Other |

Property Owner's Authorized Applicant (if applicable):Name of Authorized Applicant: Ashley DoverTelephone: 404-863-2450Address: 1301 Iron Mountain Road

Suite: _____

City CantonState: GAZip: 30115**So Sworn and Attested:**Owner Signature: D'Lana NixonDate: 1/29/2024**Notary:**Notary Signature: Brandy J. WeldyDate: 1/29/24

BRANDY J. WELDY
NOTARY PUBLIC
Cherokee County, State of Georgia
My Commission Expires 02/09/2026

DISCLOSURE FORM

The Official Code of Georgia Annotated requires disclosure of campaign contributions to government officials by an applicant or opponent of a rezoning or public hearing petition (O.C.G.A. 36-67 A-1).

Applicants must file this form with the City of Alpharetta Community Development Department within ten (10) days after filing for rezoning or public hearing. Opponents to a rezoning or public hearing petition must file this form five (5) days prior to the Planning Commission meeting at which the subject rezoning or public hearing petition is scheduled to be heard.

Name of Applicant or Opponent: Ashley Dover

Subject Public Hearing Case: Nixon Pool Variance

Campaign Contribution Information:

Please provide the requested information for each contribution with a dollar amount or value of \$250 or more made within the past two (2) years to an Alpharetta Official by the individual identified above. Please use a separate form for each Alpharetta Official to whom such a contribution as been made.

If the individual identified above has made no such contributions to an Alpharetta Official within the past two (2) years, please indicate this by entering "N/A" on the appropriate lines below.

Name of Official: N/A Position: N/A

Description of Contribution: N/A Value: N/A

Description of Contribution: N/A Value: N/A

Description of Contribution: N/A Value: N/A

Description of Contribution: N/A Value: N/A

Description of Contribution: N/A Value: N/A

Campaign Contribution Information:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Disclosure Form is true and accurate and that I have disclosed herein any and all campaign contributions made to an Official of the City of Alpharetta, Georgia in accordance with O.C.G.A. 36-67 A-1.

Signature: D'lana Nixon

Date: 3/5/2024

BOARD OF ZONING APPEALS REVIEW CRITERIA

Please respond to the following ONLY if you are applying for a zoning variance.

Are there extraordinary and exceptional conditions pertaining to the subject property because of its size, shape, or topography? Please describe them.

An extraordinary or exceptional condition pertaining to this property is the fact that it is a corner property on a main street. The house is set back off the front and side building line, limiting amount of space in rear of home for a pool.

Would the application of the Zoning Code standards as they relate to the subject property create an unnecessary hardship? Please explain.

The Zoning Code standards would create an unnecessary hardship if applied here because it would force the pool very close to the house, making it difficult to build with the existing structures already on the property as related to the main dwelling.

Are there conditions that are peculiar to the subject property? Please describe them in detail.

A condition that is differing from other properties, is the fact that this is a corner lot at the beginning of the neighborhood. Instead of the house facing the street as the other houses do in the neighborhood, it faces the main street (Canton St).

Would relief, if granted, cause substantial detriment to the public good or impair the purpose and intent of the Zoning Code? Please defend your response.

If relief was granted, there would not be any detriment to the public good or impair the purpose and intent of the Zoning Code. We are still proposing to be 11' off the rear property and 14' off the side property. Both neighboring properties have verbally supported this proposal. Will provide support letter.

On a separate sheet or sheets, please provide any information or evidence that supports your request and the statements that you have provided in this application.

CITIZEN PARTICIPATION FORM - PART A

This form must be completed and submitted with the applicant's completed Public Hearing Application. Applications submitted to the City of Alpharetta without a completed Citizen Participation Form - Part A will not be accepted.

Public Hearing or Project Name: Nixon Pool

Contact Name: Ashley Dover Telephone: 404-863-2450

The following people will be notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified. Use additional pages as needed.

Natasha Radden 2120 Canton View

Rodney Barron 284 Canton St

Method by which these individuals will be contacted. Please mark all that apply. *If you select "Other," please provide a description of the method of contact that will be used.*

- | | |
|--|--|
| ☒ Letter | ☐ Personal Visits |
| ☐ Telephone | ☐ Group Meeting |
| ☒ Email | ☐ Other <i>(Please Specify)</i> |

Please describe the method(s) by which these individuals will have the opportunity to respond or contact the applicant with questions or concerns about the proposal.

SITE PLAN PREPARED FOR THE
NIXON RESIDENCE

2110 CANTON VIEW
ALPHARETTA, GA 30009

CONTRACTOR:

GEORGIA
CLASSIC
POOL

1301 IRON MOUNTAIN RD
CANTON, GA 30115
770-521-0708

24 HR CONTACT:
BRANDY WELDY
678-231-2665
brandy@georgiaclassicpool.com

GSWCC

Brandy J. Weldy
Level IIA Certified Professional

License # 0000067587
Expires: 03/18/2025
Renewal: 03/18/2025

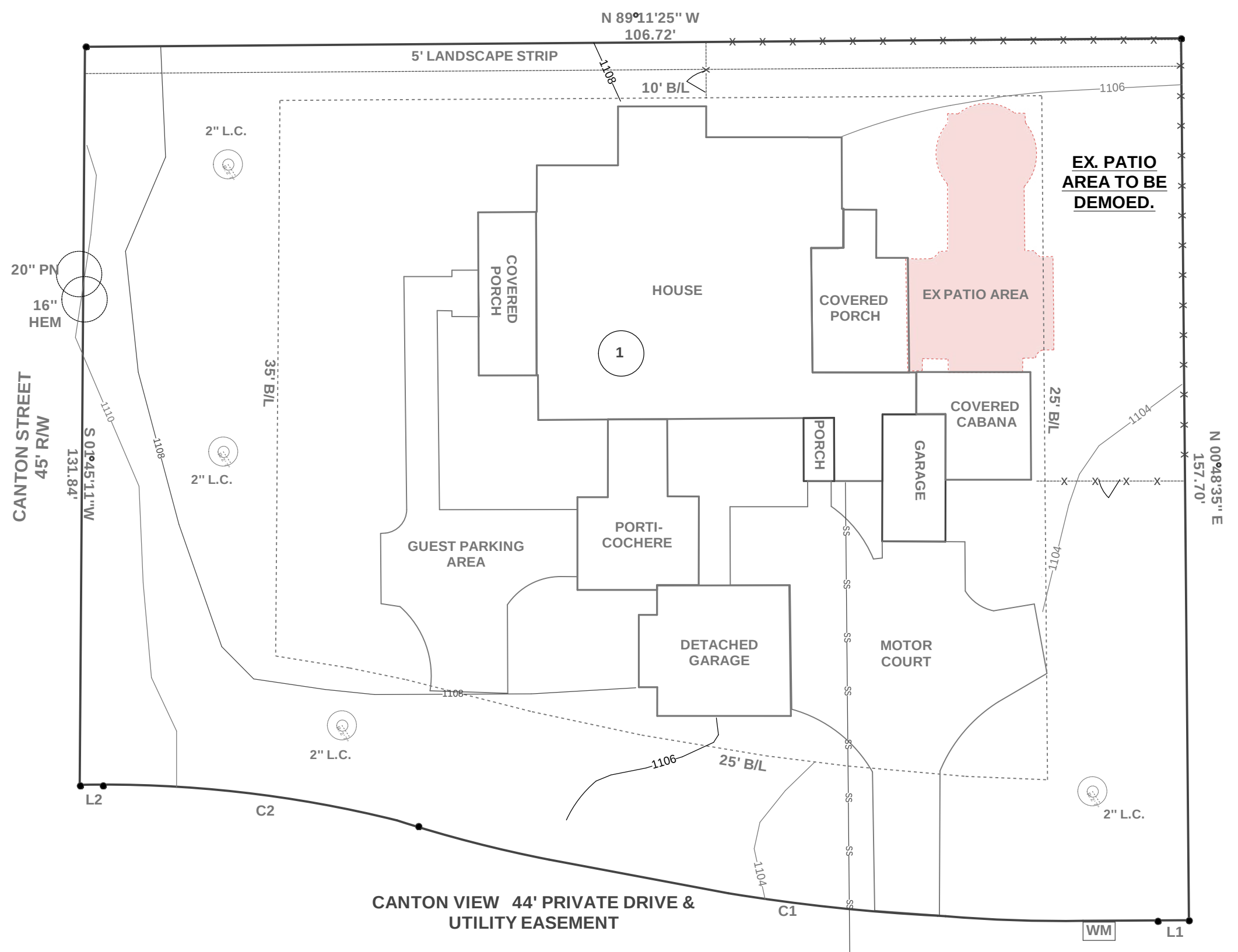
1/15/2024

***RELEASED FOR
CONSTRUCTION

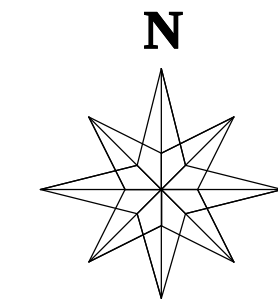


CONSTRUCTION PLANS FOR
2110 CANTON VIEW
ALPHARETTA, GA 30009

EXISTING CONDITIONS



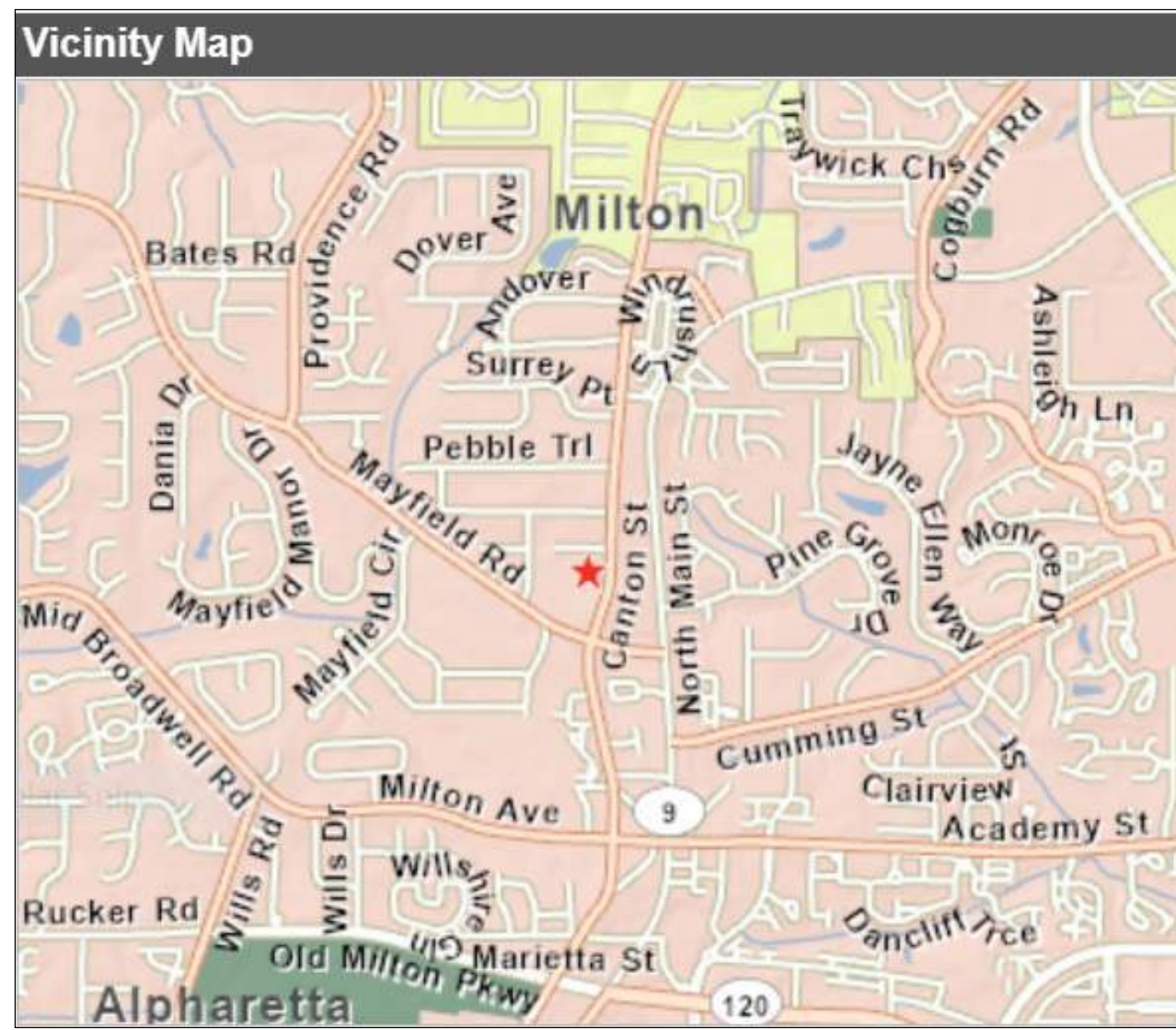
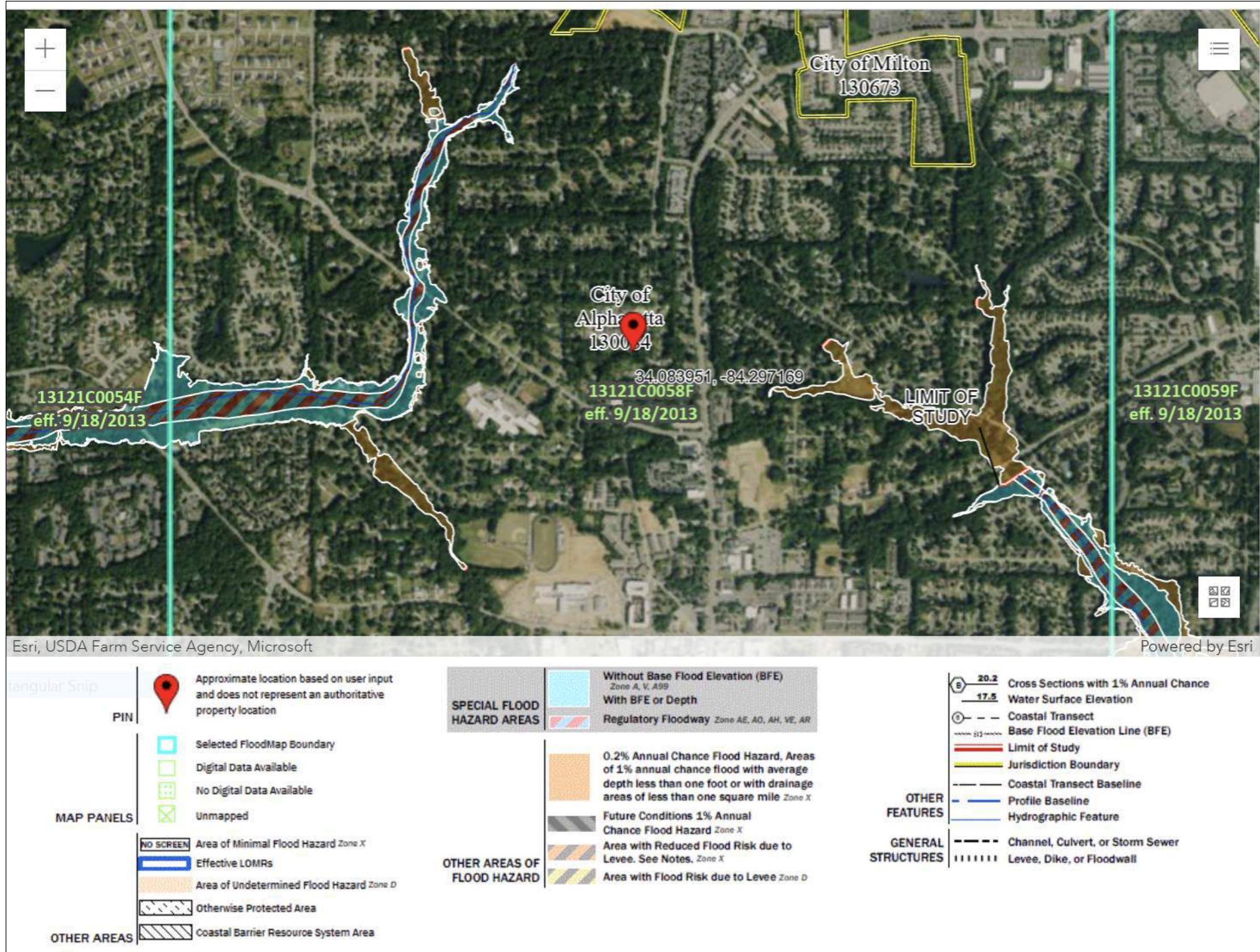
Scale: 1/20" = 1 ft
0 5 10 15 20 25 30 35 40 45



ZONED R15
PID # 22 481411970920
BUILDING SETBACKS:
FRONT 35'
SIDE 10'
SIDE 25'
BACK 25'

LOT AREA: .67 ACRES
29,006 SF

ALL PAGES SHOULD BE PRINTED AT
36" X 24" TO BE TO SCALE.



INDEX

PAGE 1: COVER/CURRENT CONDITIONS

PAGE 2:
PROPOSED CONDITIONS

PAGE 3: BUILDING DETAILS

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	133.97'	490.00'	S 81° 24' 37" E	133.55'
C2	57.42'	210.00'	S 81° 24' 37" E	57.24'

LINE	BEARING	DISTANCE
L1	S 89° 14' 34" E	5.66'
L2	S 88° 25' 23" E	4.20'

CITY OF ALPHARETTA GSWCC EROSION CONTROL PLAN:

-THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
-EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE
-NO DISTURBED AREAS TO BE EXPOSED MORE THAN 14 DAYS.

NOTES:
1. NO SILT FENCE WILL BE INSTALLED NOR ANY SITE WORK PRIOR TO APPROVAL FROM INSPECTOR.
2. TREE PROTECTION FENCE MUST BE INSTALLED ACCORDING TO APPROVED SITE PLAN AND CORNERS OF POOL MUST BE STAKED. WHEN THIS IS COMPLETED, CALL INSPECTOR AT 678-297-6200 TO SCHEDULE AN ONSITE INSPECTION PRIOR TO ANY FURTHER LAND DISTURBANCE.
3. SILT FENCE MUST BE MAINTAINED THROUGHOUT THE PROJECT AND MUD MUST NOT BE TRACKED ONTO ROADWAY.

ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO ROADWAY OR INTO STORM DRAIN SYSTEM SHALL BE REMOVED IMMEDIATELY BY SWEEPING. EXCESSIVE OFFSITE TRACKING MAY WARRANT THE INSTALLATION OF A CONSTRUCTION EXIT AT THE DISCRETION OF THE CITY OF ALPHARETTA INSPECTOR. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND.

EROSION CONTROL SEEDING SCHEDULE (Ds1, Ds2, Ds3)
CONTRACTOR SHALL PROTECT ALL DISTURBED AREAS BY TEMPORARILY RE-SEEDING UNTIL PERMANENT GROUND COVER IS ESTABLISHED. (MAXIMUM 3 WEEKS).

SOIL PREPARATION:
ADD 2 TONS OF LIME PER ACRE FOR PERMANENT GRASS. HAY MULCH FOR TEMPORARY COVER AT 5000 LBS. PER ACRE.

TOP DRESSING: APPLY WHEN PLANTS ARE 2-4 INCHES TALL.

FERTILIZER: (AMMONIUM NITRATE 33%) 300 LBS PER ACRE.

SECOND YEAR FERTILIZER: (5-10-15) OR EQUIVILANT 500 LBS. PER ACRE.

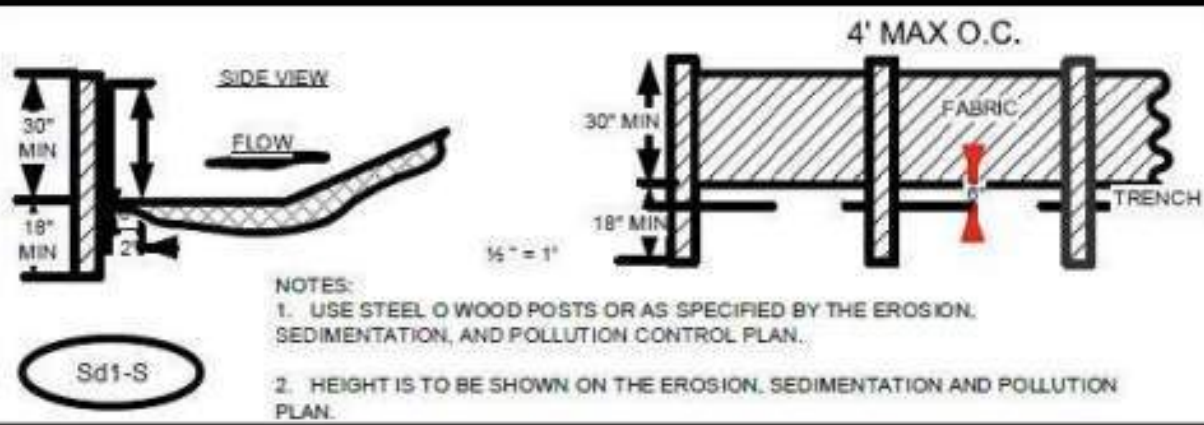
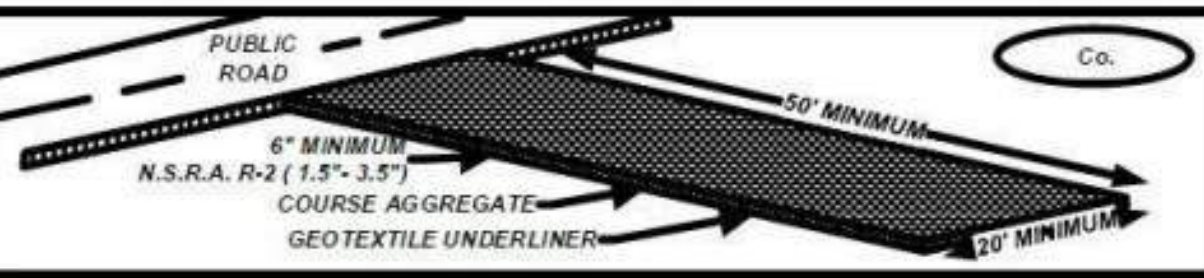
SEEDING RATES:
SUMMER 4/1-9/15 BERMUDA (HULLED) 10 LBS. PER ACRE
COOL 9/1-1/1 FESCUE (KY 31) 50 LBS PER ACRE
WINTER 1/1-4/15 ANNUAL RYE GRASS 50 LBS. PER ACRE

SITE NOTES

- PROPOSED RETAINING WALLS 4' AND OVER IN REVEALED HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER & REQUIRE A SEPARATE BUILDING PERMIT.
- If the existing driveway is to be used as the site construction exit (co), all materials spilled, dropped or tracked from vehicles from site onto roadway must be removed immediately by sweeping. Excessive offsite tracking may warrant the installation of a construction exit at the discretion of the City of Alpharetta Inspector. The construction exit shall be maintained in a condition which will prevent tracking or flow of mud onto public right-of-way. This may require periodic top dressing with stone as conditions demand.
- Parking of dumpsters or other construction vehicles/equipment is prohibited in right of way.
- Burial of construction debris is not permitted.

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)		Ds3	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SEEDING)		Ds4	A permanent vegetative cover using seeds on highly erodible or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.



SCOPE OF PROPOSED WORK:
DEMO OF EX. PAVER PATIO.
CONSTRUCTION OF NEW SHOTCRETE SWIMMING POOL & PAVER POOL PATIO.
LOCATION - BACK YARD.

POOL WILL HAVE AN ENCLOSED CARTRIDGE FILTER SYSTEM

MAIN DRAINS LOCATED IN DEEP END FOR FILTRATION ONLY: OVERFLOW TO DRAIN TOWARDS BACK SIDE OF PROPERTY

BACKFLOW PREVENTER ATTACHED AT HOSE BIB

ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BASED ON THE EX. CONDITIONS IF DEEMED NECESSARY BY THE ON-SITE INSPECTOR.

Ds1 Ds2
Ds3 Ds4
FOR ALL DISTURBED AREAS

ZONED R15
PID # 22 481411970920

BUILDING SETBACKS:
FRONT 35'
SIDE 10'
SIDE 25'
BACK 25'

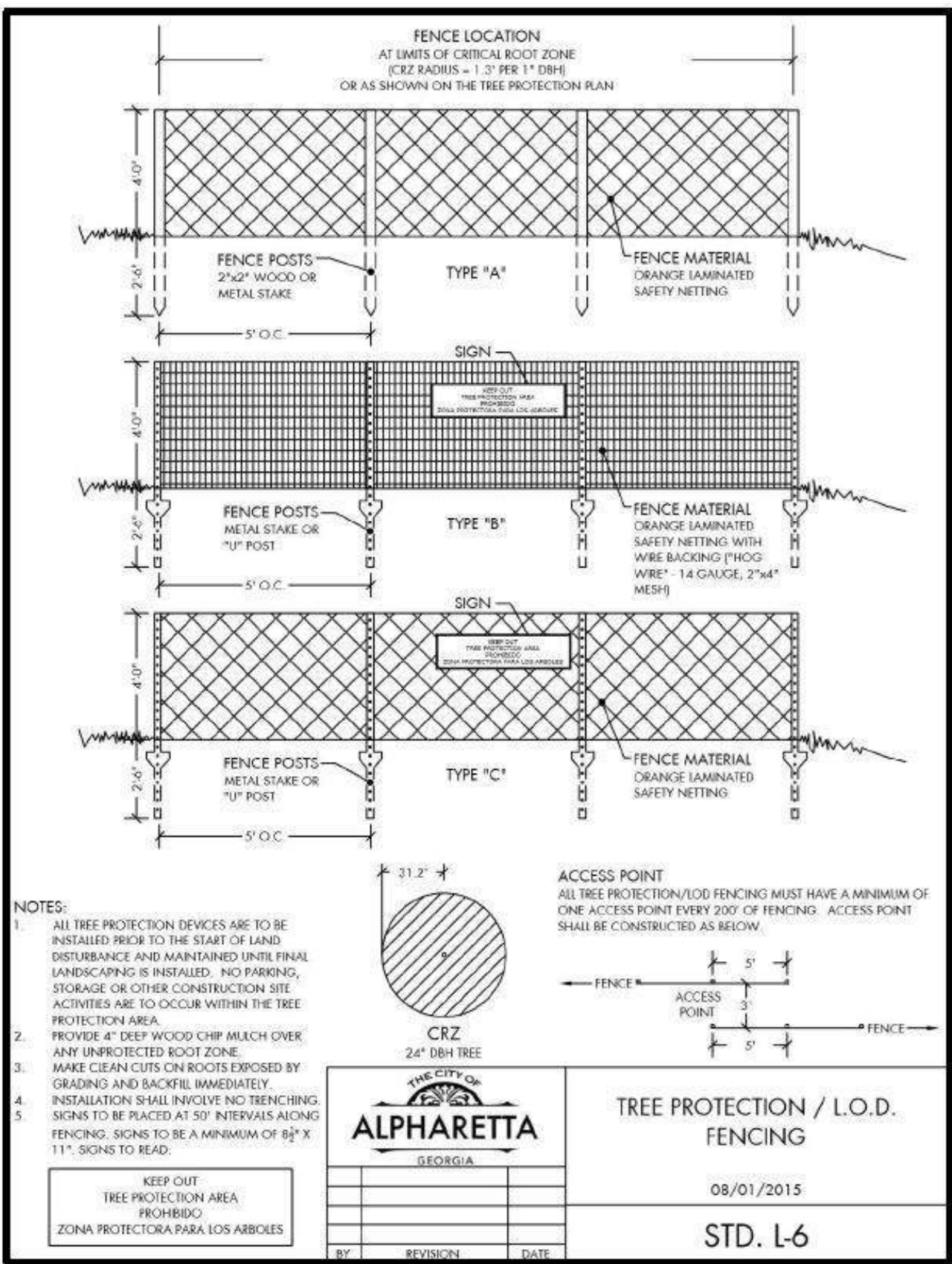
LOT AREA: .67 ACRES
29,006 SF

EXISTING IMPERVIOUS COVER:
HOUSE/CABANAS/GARAGE: 3,234 SF
PORTE COCHERE/DETACHED GARAGE: 506 SF
PORCHES/WALKWAYS: 1,318 SF
DRIVEWAY/PARKING: 3,280 SF
PAVER PATIO: 900 SF
TOTAL EX: SF/31.8%

DEMO OF EX. PAVER PATIO: -900 SF
NET EX. IMPERVIOUS: 8,338 SF/28.7%

PROPOSED NEW IMPERVIOUS:
POOL- WATER & COPING: 726 SF
PAVER PATIO: 528 SF
2x2 TRAVERTINE TILES (45): 180 SF
EQUIPMENT: 12 SF
TOTAL NEW: 1,446 SF/4.99%

NET EX + PROP: 9,784 SF/33.7%



ARBORIST NOTE:
NO TREES TO BE REMOVED. NO TREES OR THEIR CRITICAL ROOT ZONES TO BE IMPACTED.

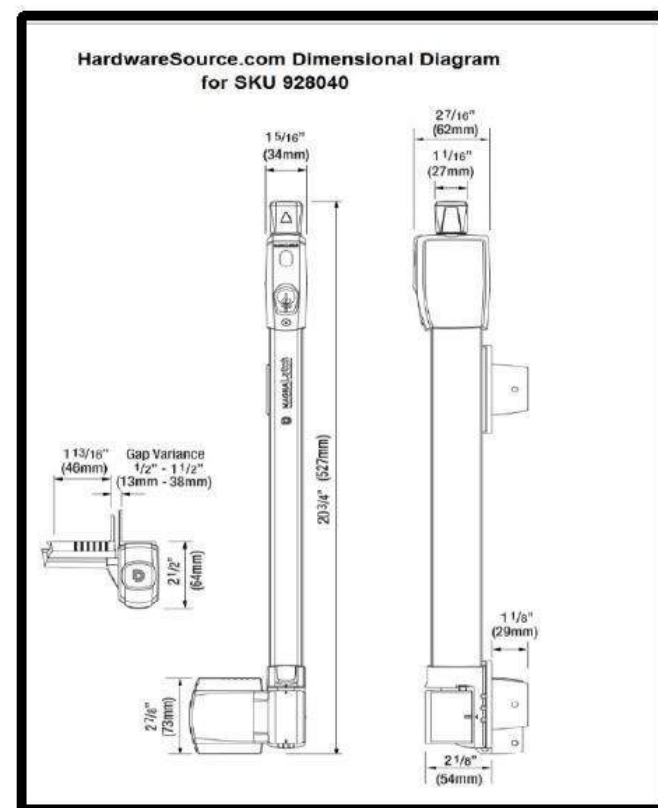
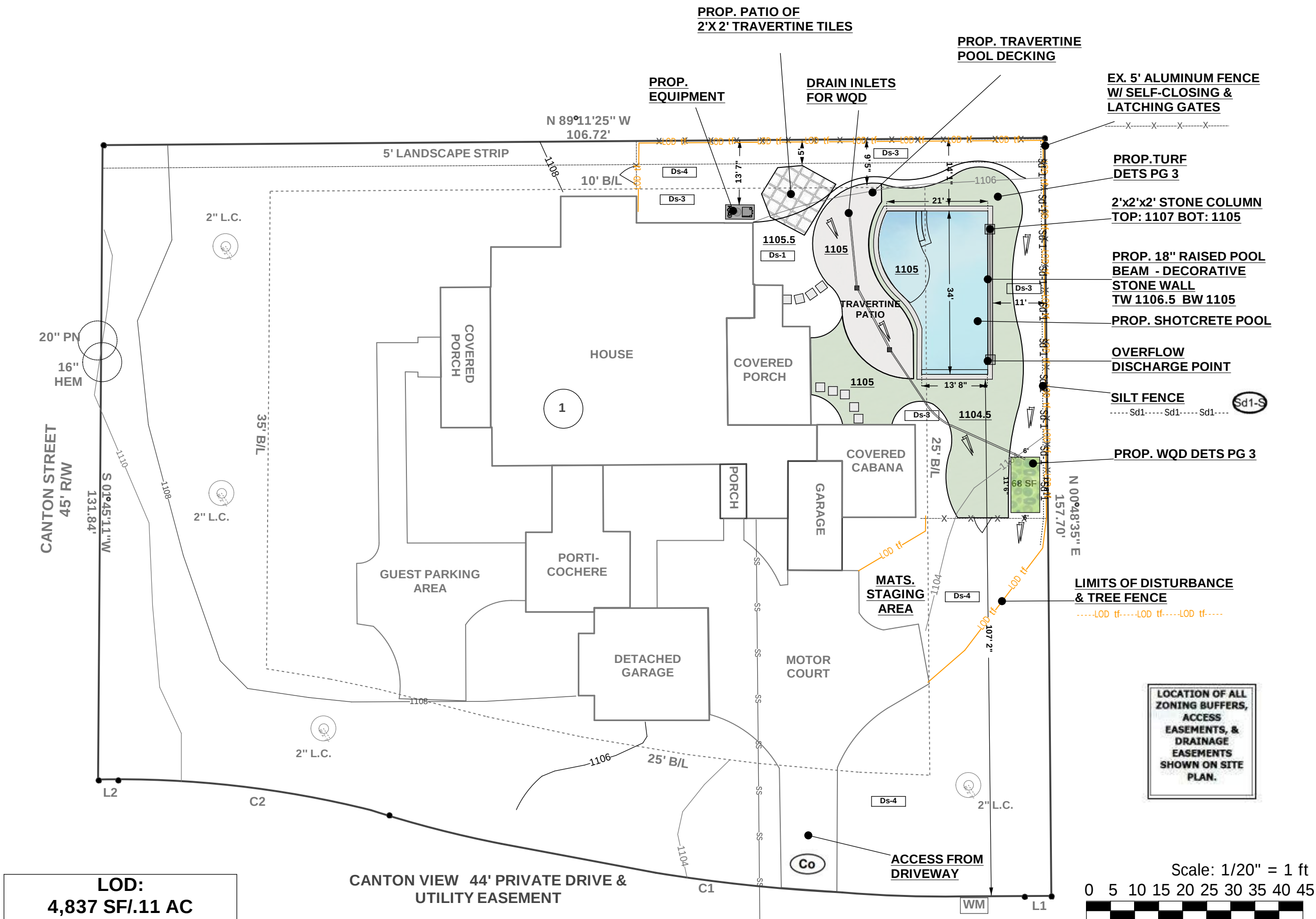
4' TALL ORANGE LAMINATE FENCE W/ POSTS 5' O.C.
TYPE B SILT FENCE TO BE USED AT SPECIMEN & BOUNDARY TREES.

"All work performed within the critical root zone of any specimen tree is to be performed under the supervision of an ISA Certified Arborist. The Project Arborist is to be present at tree save fence inspection during the site initiation process. The Project Arborist shall be in coordination with the City Inspector throughout the course of the project. An arborist report is to be provided to the City Land Disturbance Inspector prior to closing out the ENG Permit."

"All Specimen and Boundary Tree roots encountered within the approved Limits of Disturbance that are 1/2" or greater shall be clean cut under the direction of an ISA Certified Arborist."

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	133.97'	490.00'	S 81 24'37" E	133.55'
C2	57.42'	210.00'	S 81 24'37" E	57.24'

LINE	BEARING	DISTANCE
L1	S 89 14'34" E	5.66'
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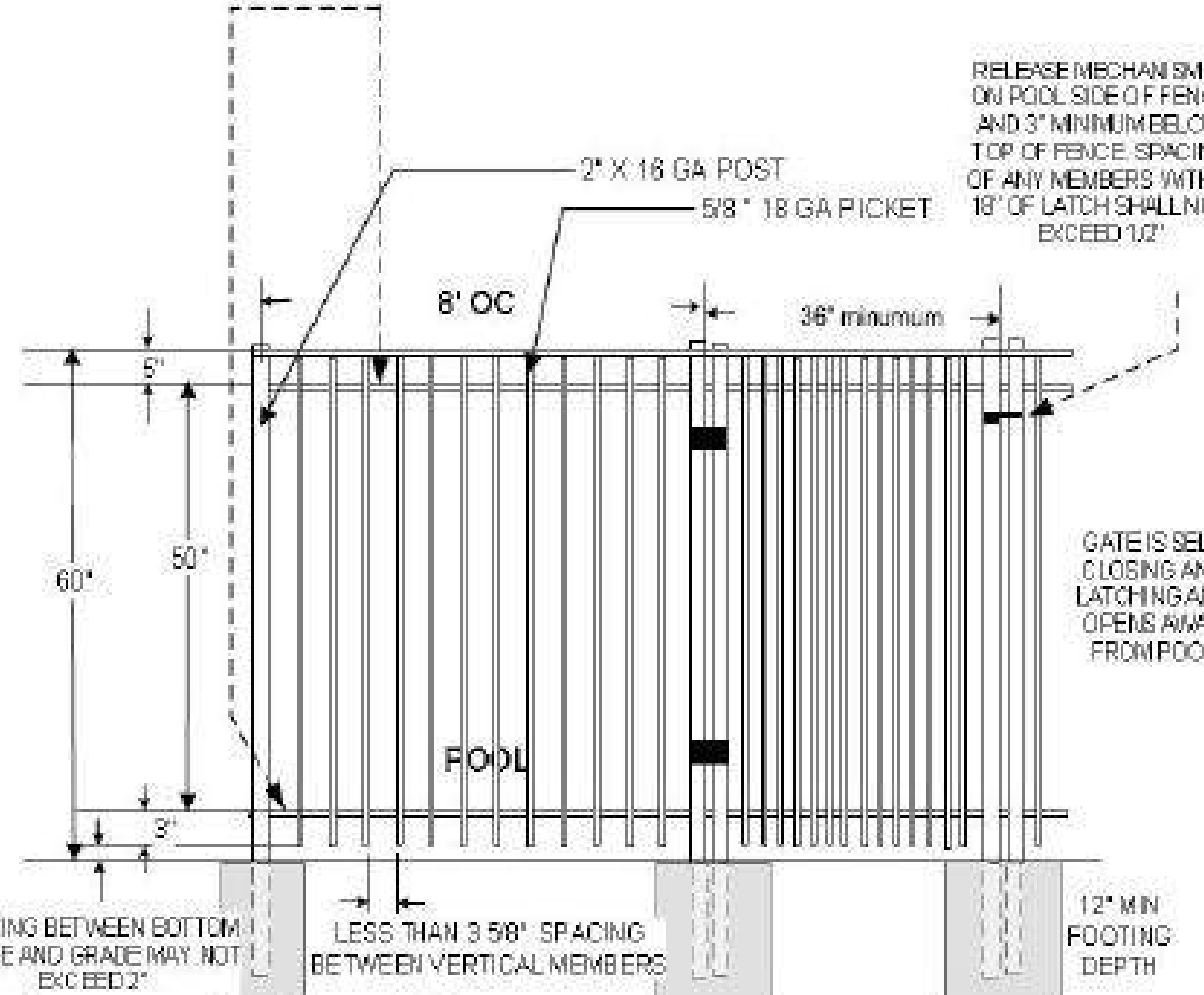
POOL FENCES MUST INCLUDE AT LEAST ONE GATED EXIT WITH A MINIMUM WIDTH OF 36\"/>

THE MINIMUM HEIGHT OF A POOL FENCE MUST BE FIVE FEET AND THE MAXIMUM HEIGHT OF A POOL FENCE CANNOT EXCEED EIGHT FEET.
FENCES AND WALLS USED AS BARRIERS, MAY NOT BE FINISHED WITH BRIGHT OR PRIMARY COLORS. IF ONLY ONE SIDE OF THE FENCE IS TO BE FINISHED, THE FENCE SHALL BE CONSTRUCTED WITH THE FINISHED SIDE TOWARD THE NEIGHBORING PROPERTY.
FENCE MUST BE LOCATED 3' FROM THE RIGHT OF WAY AND GATES MUST BE 20' FROM RIGHT OF WAY MEASURED ALONG DRIVE.

ISPS Section 305.4

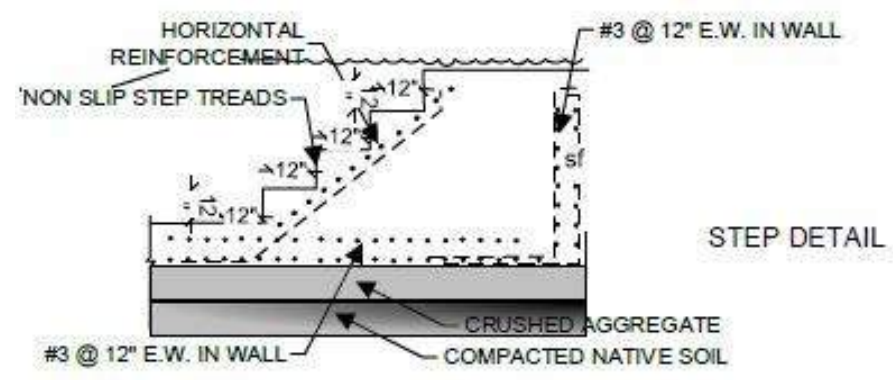
Where a wall of a dwelling or structure serves as part of the barrier, doors and operable windows with a sill height of less than 48 inches that provide direct access to the aquatic vessel through the wall, shall be equipped with one or more of the following:
1. An alarm that produces an audible warning when the door or its screen or window, is opened. The alarm shall be listed and labeled as a water hazard entrance alarm in accordance with UL 2017. In dwellings or structures not required to be Accessible units, Type A units or Type B units, the deactivation switch shall be located 54 inches or more above the threshold of the door. In dwellings or structures required to be Accessible units, Type A units or Type B units, the deactivation switch shall be located not greater than 54 inches and not less than 48 inches above the threshold of the door.

WHEN THE SPACING BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS EXCEEDS 45\"/>



60\"/>

NOTES:
 1. #3 (3/8") REBAR SCHED. 40 SPEC. 615 USED THROUGHOUT POOL EXCEPT IN BEAM
 2. STEEL WILL BE 12" O.C. EXCEPT IN BOND BEAM.
 3. STARTING AT 6 1/2" DEPTH AND RUNNING AROUND THE DEEP END BOWL TO THE OPPOSITE SIDE OF THE POOL AT THE 6 1/2" DEPTH. #3 REBAR SHALL BE INSTALLED ON 12" CENTERS 10" LONG BARS WILL START AT THE TOP OF THE BEAM AND BE SPLICED INTO THE FLOOR.
 4. ALL STEEL TO BE CONTINUOUS BY SPLICING.
 5. ALL SPLICES SHOULD BE APPROXIMATELY 18" WITH A MINIMUM OF 12" AND TWO TIES.
 6. ALL STEEL WILL BE BLOCKED 2" OFF DIRT.
 7. ADD #3 @ 10.0' LONG @ 12" VERT. MAKING A TOTAL OF #3 VERT. @ 6" O.C. #3 TO BEGIN 2'0" INTO THE FLOOR & EXTEND UPWARD INTO THE WALL. ADD #3 @ 6" O.C. 2' INTO SHALLOW END EXTENDING DOWN BREAK 2' DEEP INTO THE DEEP END FLOOR.



ALL PUMP MOTORS AND WET NICHE FIXTURES ARE PROTECTED WITH GFCI OVERCURRENT DEVICES

POOLSTEPS AND COPING TO BE SLIP RESISTANT (306.2)

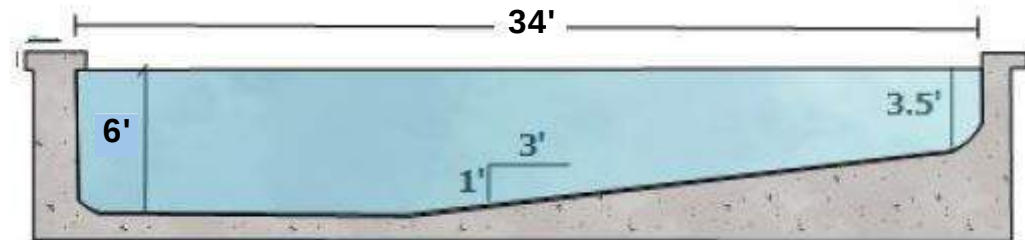
FLOAT ROPE PROVISION PER ISPSC SEC 811

OVERFLOW DISCHARGE

BENCH ENTRY/EXIT (809.3) SHALL NOT EXCEED 20" IN DEPTH (809.9) BENCH -

DUAL ANTI VORTEX V.G.B. COMPLIANT MAIN DRAIN (3' APART) COMPLIANT WITH ANSI/APSP-7

2" PVC PIPE TO SKIMMERS AND RETURNS



POOL EQUIPMENT:

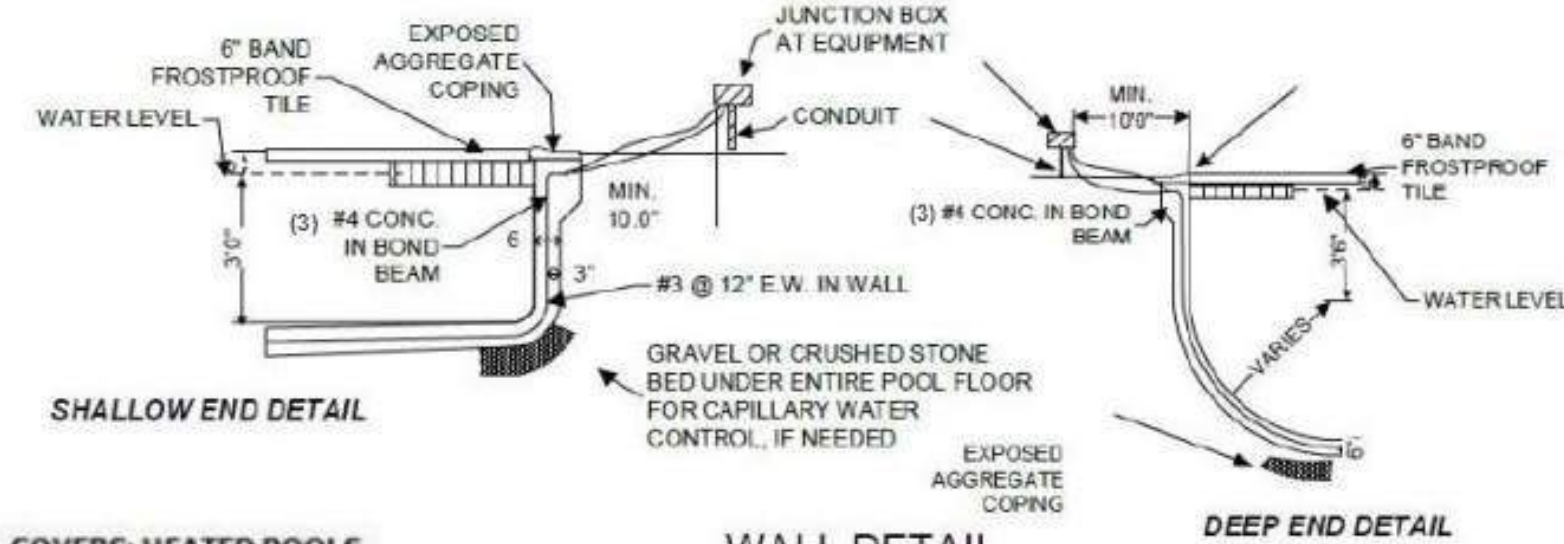
PUMP: JANDY VARIABLE SPEED PUMP 2 HP
FILTER: CL420 CARTRIDGE
CHEMICAL TYPE: SALT
LIGHTING: 4 24W LED
HEATER: 399K BTU
REINFORCEMENT: STEEL CxC 12 INCH
REBAR SIZE: #3 3/8"
RETURNS: 2w/2" PIPE
SKIMMERS: 1w/2" PIPE
DRAIN: VGB COMPLIANT, DOUBLE ANTI VORTEX
CLEANER: ALPHA IQ PLUS
COPING: FLAGSTONE
TILE: 6x6 PORCELAIN
INSIDE FINISH: PEBBLE TEC

24W LED

SKIMMER

CURRENT APPLICABLE CODES FROM 2018 ISPSC CODE, WITH GEORGIA AMMENDMENTS (2020)

***RELEASED FOR CONSTRUCTION

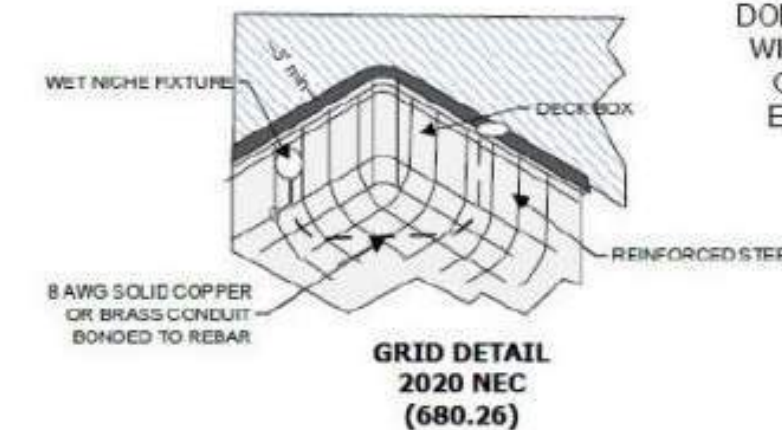


WALL DETAIL

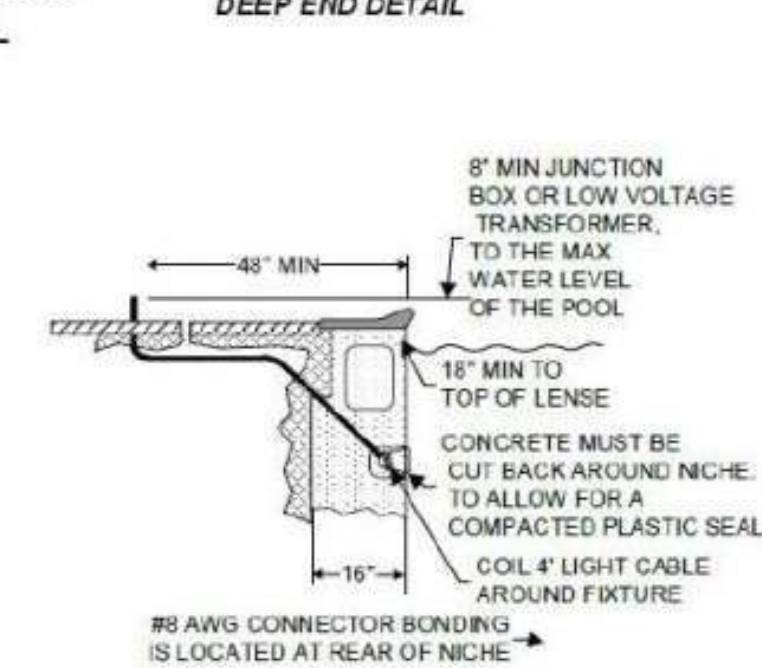
POOL COVERS: HEATED POOLS SHALL BE EQUIPPED WITH A VAPOR-RETARDANT POOL COVER ON OR AT THE WATER SURFACE. POOLS HEATED TO MORE THAN 90°F (32°C) SHALL HAVE A POOL COVER WITH A MINIMUM INSULATION VALUE OF R-12. R403.10.4 (2015)

EQUIPOTENTIAL BONDING AND BONDING GRID:

BONDING SHALL BE DONE IN ACCORDANCE WITH SECTION 680.26 OF THE NATIONAL ELECTRICAL CODE (NEC)*



GRID DETAIL 2020 NEC (680.26)



WET NICHE FIXTURE

SIZING CALCULATION:

Contributing Drainage Area (square feet)	Depth of Amended Soil (inches)			
	18	24	30	36
100	6.6	5.7	5.1	4.6
500	35	30	25	23
1000	65	60	50	45
2000	135	115	100	90
3000	200	170	150	140
4000	280	240	200	185
5000	330	290	255	230

MEASURE CONTRIBUTING DRAINAGE AREA AND READ AREA FOR GIVEN MEDIA DEPTH.

CONTRIBUTING DRAINAGE AREA= 1446 SQ FT
 DEPTH OF SOIL MEDIA= 36 INCHES
 AREA OF RAIN GARDEN= 68 SQ FT

MAINTENANCE:

- IRRIGATE VEGETATION AS NEEDED IN FIRST SEASON
- REMOVE WEEDS
- REPLACE UNSUCCESSFUL PLANTINGS
- REPLENISH MULCH
- REPAIR ERODED AREAS
- RAKE CLOGGED SURFACE TO RESTORE INFILTRATION
- MONITOR RAIN GARDEN FOR APPROPRIATE DRAINAGE TIMES IF GARDEN DOES NOT DRAIN AN UNDERDRAIN MAY BE NECESSARY



TRULY ONE OF A KIND

The only drain of its kind available. Get peace of mind with our maximum safety drain that also cleans your pool. Install only one drain for up to two pumps. Requires minimum plumbing yet provides maximum protection and compliance with anti-entrapment codes.

BENEFITS

- UNBLOCKABLE. Designed with large opening for large debris removal. Most other certified drains are for circulation only.
- Requires no vent line or SVRS per ANSI/APSP 7 standard.
- Perfect for spas, negative vanishing edges, fountains, sheer descents and all other water features.
- Easy Installation.

SAFETY ENGINEERED

- Listed and certified by NSF International to the Virginia Graeme-Baker Act and ASME/ANSI A112.19.8a-2008 and it is Certified up to 227 GPM.
- List by NSF "50".
- Full compliance with anti-entrapment codes.
- Throw-away cover to provide protection during construction.
- Dual levels of protection with the AVSC safety baffle providing a second level of protection in the event the main cover is removed.



SAFETY FIRST Safety baffle over interior inlet.

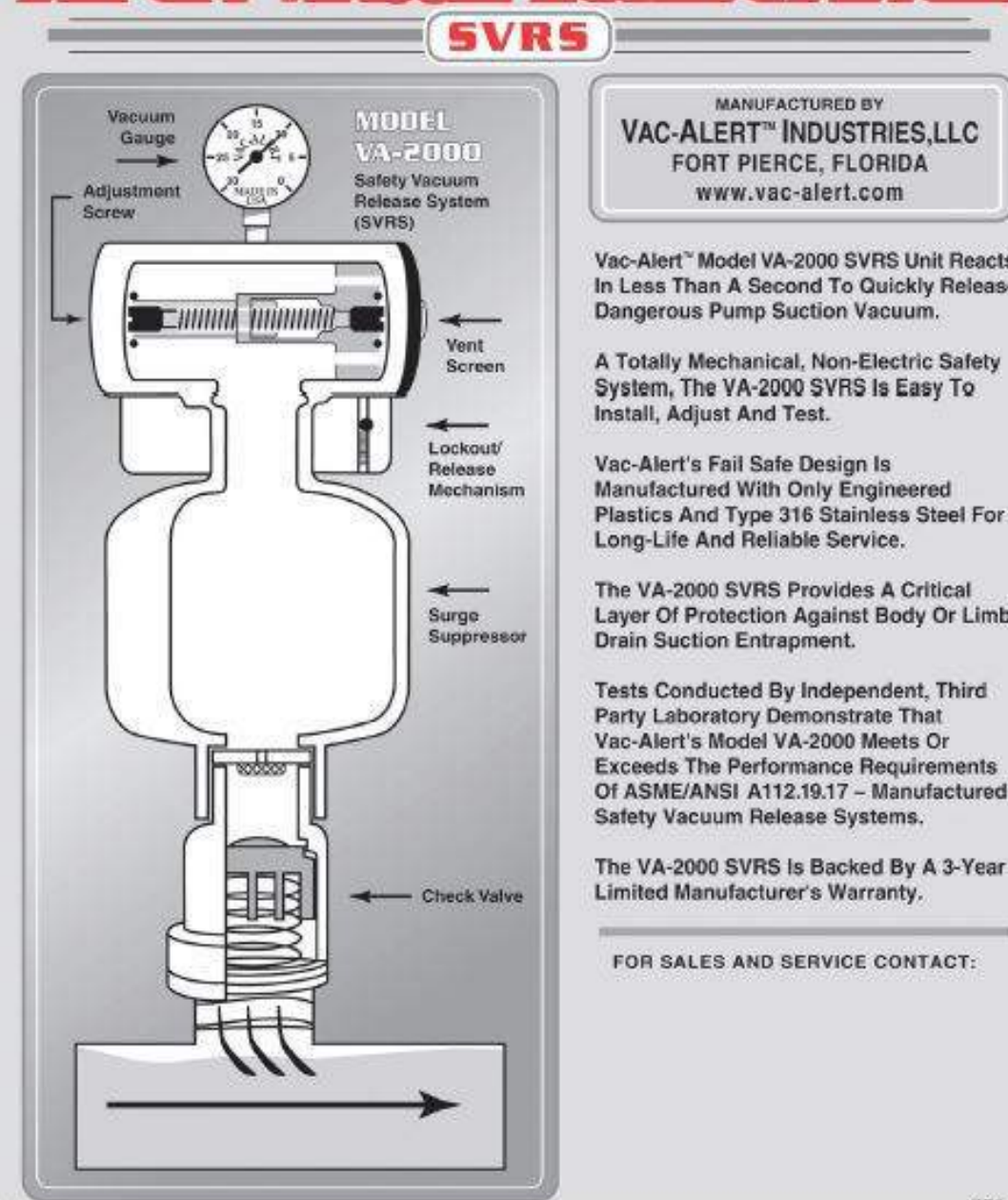


Easy Installation right out of the box

UNBLOCKABLEDRAIN.com



SAFETY VACUUM RELEASE SYSTEM



MANUFACTURED BY VAC-ALERT INDUSTRIES, LLC FORT PIERCE, FLORIDA www.vac-alert.com

Vac-Alert® Model VA-2000 SVRS Unit Reacts In Less Than A Second To Quickly Release Dangerous Pump Suction Vacuum.

A Totally Mechanical, Non-Electric Safety System, The VA-2000 SVRS is Easy To Install, Adjust And Test.

Vac-Alert's Fail Safe Design Is Manufactured With Only Engineered Plastics And Type 316 Stainless Steel For Long-Life And Reliable Service.

The VA-2000 SVRS Provides A Critical Layer Of Protection Against Body Or Limb Drain Suction Entrapment.

Tests Conducted By Independent, Third Party Laboratory Demonstrate That Vac-Alert's Model VA-2000 Meets Or Exceeds The Performance Requirements Of ASME/ANSI A112.19.17 - Manufactured Safety Vacuum Release Systems.

The VA-2000 SVRS Is Backed By A 3-Year Limited Manufacturer's Warranty.

FOR SALES AND SERVICE CONTACT:



PROFLOW TECHNOLOGY

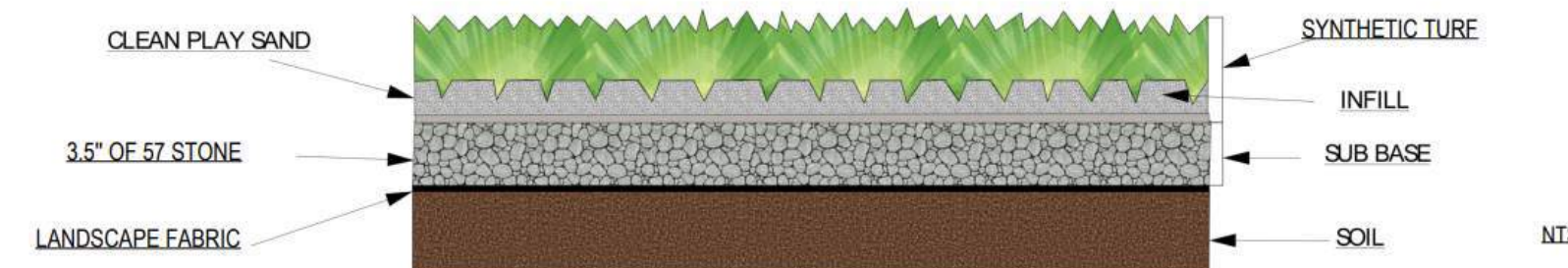
ProGreen is proud to introduce a new, non-perforated backing that drastically affects the drainage efficiency of synthetic turf. ProFlow is a patent-pending, non-perforated technology that does not require holes in the backing for drainage. Despite the fact that it has no holes, it is still completely permeable and increases the drainage capacity by 100%.

SYNTHETIC TURF DETAIL



DRAINAGE RATE: >400"/HR

TUFT BIND: >12.5 LBS/FORCE



TURF INSTALLATION NOTES

Base Drainage Aggregate: Installation of the free draining base aggregate of 3/8" to 5/8" clean compactable angular stone (any mix with fines in excess of 20% must be approved by manufacturer), shall follow procedures provided. If the sub-base does not permit liquids to freely percolate, auxiliary drainage is required. Base material must be installed to a recommended depth of 3 1/2". The drainage network and its existing elevations shall not be disrupted through ground pressures from trucks, dozers, or by any other means.

- The stone shall be left firm and compacted while allowing the porosity and drainage capabilities of the aggregate profile.
- The free draining base course should be designed to meet local soil and weather conditions. It must be installed to a minimum depth of 3" with a recommended compaction rate of 90%.

CONSTRUCTION SITE NOTES:

- CONTRACTOR TO ENSURE INFILTRATION AREA IS FREE OF SEDIMENT-LOADED RUNOFF.
- SILT FENCING IN THIS AREA TO STAY IN PLACE UNTIL SITE IS STABILIZED WITH PERMANENT LANDSCAPING.
- CONTRACTOR TO AVOID COMPACTION & USE OF HEAVY EQUIPMENT IN THIS AREA TO NOT AFFECT INFILTRATION RATES.



LEGAL DESCRIPTION

"2110 Canton View, Alpharetta, Ga. 30009"

Parcel I.D. 22-4814-1197-092-0

ALL THAT TRACT OR PARCEL of land lying and being in Land Lot 1197 of the 2nd District, 2nd Section, Fulton County, Georgia, being Lot 1, Twelve on Canton Subdivision, as per plat recorded in Plat Book 395, Page 54, Fulton County, Georgia Records, and being more particularly described as follows:

BEGINNING at the point of intersection of the westerly right of way line of Canton Street (45 foot right of way, and formerly known as Old Cumming Road) and the southerly right of way line of Canton View (44 foot Private drive and utility easement and variable width right of way); thence proceed along said westerly right of way line of Canton Street South 01 degree 45 minutes 11 seconds West a distance of 131.84 feet to a point; thence leaving said right of way line of Canton Street and proceed North 89 degrees 11 minutes 25 seconds West a distance of 196.72 feet to a point; thence North 00 degrees 48 minutes 35 seconds East a distance of 157.70 feet to a point on the southerly right of way line of Canton View; thence proceed along the southerly right of way line of Canton View the following courses and distances: South 89 degrees 14 minutes 34 seconds East a distance of 5.66 feet to a point; along a curve to the right having an arc length of 133.97 feet, a radius of 490.00 feet, a chord bearing of South 81 degrees 24 minutes 37 seconds East and a chord distance of 133.55 feet to a point; along a curve to the left having an arc length of 57.42 feet, a radius of 210.00 feet, a chord bearing of South 81 degrees 24 minutes 37 seconds East and a chord distance of 57.24 feet to a point; South 88 degrees 25 minutes 23 seconds East a distance of 4.20 feet to a point and **THE POINT OF BEGINNING**; said property being shown as a 0.6659 Acre (29,006 square feet), tract of land on a Final Plat called Twelve On Canton, recorded in Plat Book 395, Page 54, Fulton County, Georgia Records, which certain survey is incorporated herein by this reference and made part hereof.

Real Estate

View Bill

As of	2/29/2024
Bill Year	2023
Bill	2317717
Owner	NIXON D LANA M
Parcel ID	22 -4814-1197-092-0

Installment	Pay By	Amount	Payments/Credits	Balance	Interest	Due
1	12/1/2023	\$1,178.16	\$1,178.16	\$0.00	\$0.00	\$0.00
TOTAL		\$1,178.16	\$1,178.16	\$0.00	\$0.00	\$0.00



BOARD OF ZONING APPEALS MEETING STAFF REPORT

SUBMITTING DEPARTMENT: COMMUNITY DEVELOPMENT

SUBMITTED BY: MICHAEL WOODMAN

DRAFTED BY: NIKISHA MISTRY

I. AGENDA ITEM TITLE: V-24-15 ZAFIRATOS/831 SMOKEHOUSE COURT

BOARD OF ZONING APPEALS: MAY 16, 2024

II. RECOMMENDATION:

Approve V-24-15 Zafiratos/831 Smokehouse Court, subject to the following conditions:

1. Screened porch and deck shall be permitted as depicted on the plans prepared by SCI Development Services dated January 15, 2024, and with a 25.7-foot rear setback.

III. REPORT IN BRIEF:

The applicant, William Crippen, is requesting consideration of a variance to reduce the rear setback from thirty-five feet (35') to twenty-five feet (25.7') to accommodate a deck extension and screen porch. The subject property is located at 831 Smokehouse Court in the Fairfax subdivision.

DISCUSSION

The submitted request, if approved, would allow for a deck extension and screened porch at the rear of a single-family home with a reduced rear setback from thirty-five feet (35') to 25.7 feet. The subject property is located at 831 Smokehouse Court in the Fairfax subdivision.

The 0.52-acre property is zoned R-15 (Dwelling, 'For-Sale', Residential) and developed with a two story, 1,900 square foot single-family detached home with an attached wooden deck at the rear. Surrounding properties are zoned R-15. Properties to the north, west, and south are also within the Fairfax subdivision, while the properties to the east are within the Greenmont Walk subdivision.

The R-15 zoning district requires a twenty-five-foot (25') rear setback. However, the platted rear setback for the Fairfax subdivision requires a thirty-five-foot (35') rear setback. The home and deck are legal non-conforming with the deck currently encroaching the platted rear setback by approximately seven feet (7.7'). The site plan proposes a 288 square foot screened porch and a 121 square foot deck with steps, totaling 409 square feet. A 25.7-foot rear setback is proposed for this addition.

As shown in the tables below, there are several examples of similar variance and building permit approvals in the Fairfax subdivision. The average size of porch and deck additions in the Fairfax subdivision since 2015 is approximately 364 square feet.

Approved Variances in the Fairfax Subdivision

Address	Case Number	Description	Approval Date (Board/Council)
905 Cobblestone Ct	V-21-10	Rear yard setback reduction from 35' to 20' for 400 sqft rear porch	BZA 8.19.21
1515 Shade Tree Way	V-19-09	Rear yard setback reduction from 35' to 24' to build 240 sqft covered deck	BZA 6.20.19

Building Permits in the Fairfax Subdivision

Address	Type of Construction	Date	Total Area of Addition
705 Paddock Ct	Deck Rebuild	11.21.23	+304 sqft
1440 Shade Tree Way	Deck and Porch	11.13.23	+288 sqft
745 Paddock Ct	Deck	7.27.22	+375 sqft
905 Cobblestone Ct	Porch	3.30.21	+400 sqft
1515 Shade Tree Way	Covered Deck	6.28.19	+240 sqft
1490 Shade Tree Way	Deck and Porch	6.6.19	+480 sqft
2100 Fairfax Dr	Covered Porch	10.26.16	+196 sqft
2210 Fairfax Dr	Deck Rebuild	11.5.15	+626 sqft

VARIANCE REQUIREMENTS

The City of Alpharetta Unified Development Code Article IV, Section 4.5.3 outlines the criteria set forth for granting a hardship variance. The ordinance specifically states..."a variance may be granted in whole or in part, or with conditions, in such individual case of unnecessary hardship upon a finding that":

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography; or

Response: The property has an unusual shape given its location on a cul-de-sac. The location on the cul-de-sac required that the home be setback further than other homes on the same street. Additionally, the structure is legal non-conforming as the deck currently encroaches the rear setback by approximately 7.7 feet. The proposed screened porch and deck will only encroach the rear setback by two (2) additional feet.

2. The application of the Ordinance to this particular piece of property would create an unnecessary hardship; or

Response: Application of the ordinance would not allow the expansion of the existing deck and creation of a screened porch. The property has an unusual shape given its location on a cul-de-sac. The location on the cul-de-sac required that the home be setback further than other homes in the same subdivision. Additionally, the structure is legal non-conforming as the deck currently encroach the rear setback by approximately 7.7 feet. The proposed screened porch and deck will only encroach the rear setback by two (2) additional feet. Furthermore, there are examples of similar variances being approved in the Fairfax subdivision.

3. There are conditions that are peculiar to the property which adversely affect its reasonable use or usability as currently zoned; or

Response: The property has an unusual shape given its location on a cul-de-sac. The location on the cul-de-sac required that the home be setback further than other homes on the same street. Additionally, the structure is legal non-conforming as the deck currently encroach the rear setback by approximately 7.7 feet.

CONCURRENCES

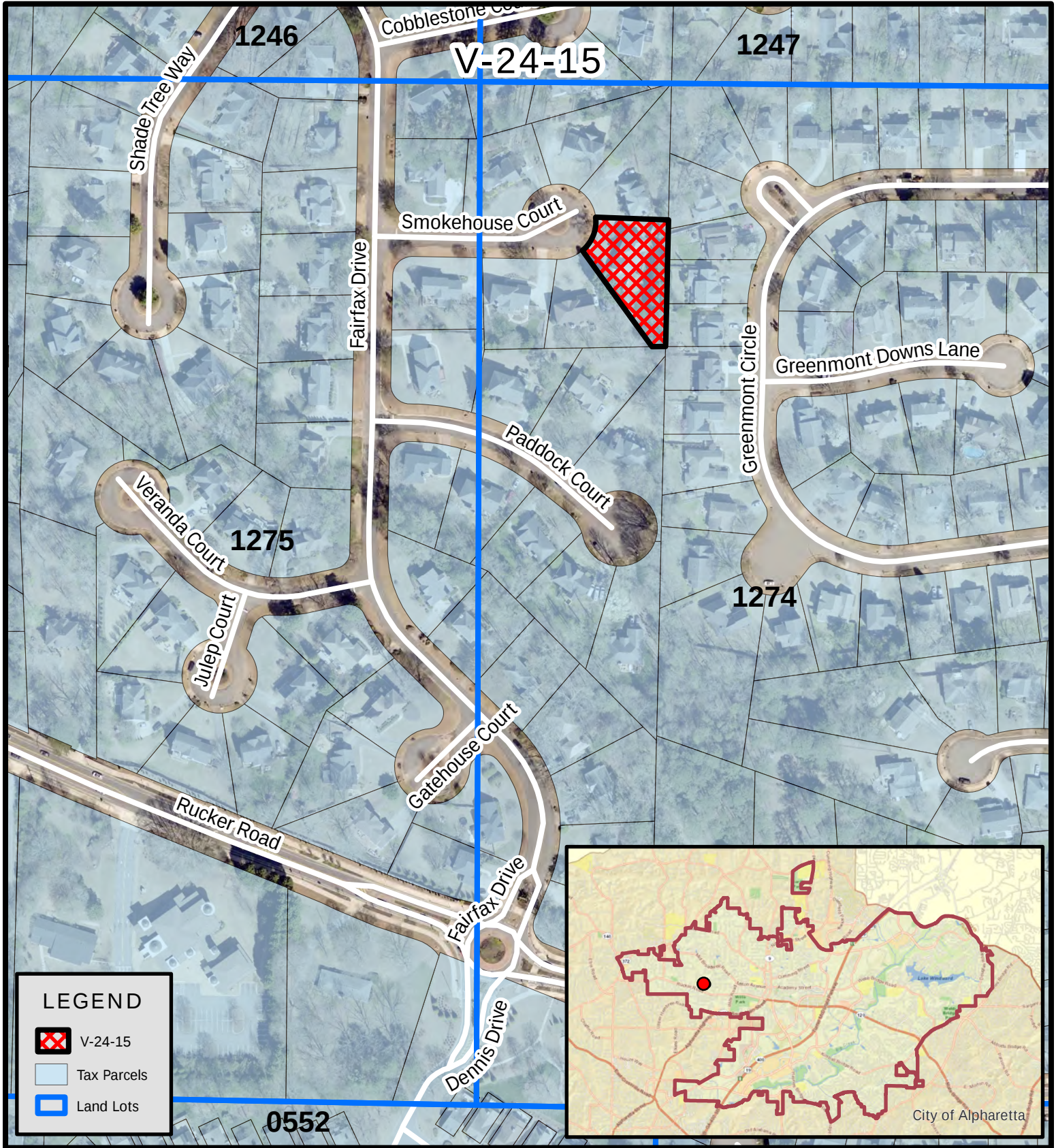
Staff has reviewed the applicant's proposal and generally supports the rear setback variance for the screened porch and deck rear addition. The property has an unusual shape given its location on a cul-de-sac. The location on the cul-de-sac required that the home be setback further than other homes in the same subdivision. Additionally, the structure is legal non-conforming as the deck currently encroach the rear setback by approximately 7.7 feet. The proposed screened porch and deck will only encroach the rear setback by two (2) additional feet. Furthermore, there are examples of similar variances being approved in the same subdivision. Moreover, the applicant contacted the adjacent properties and Fairfax HOA and received no objections.

CITIZEN PARTICIPATION PLAN

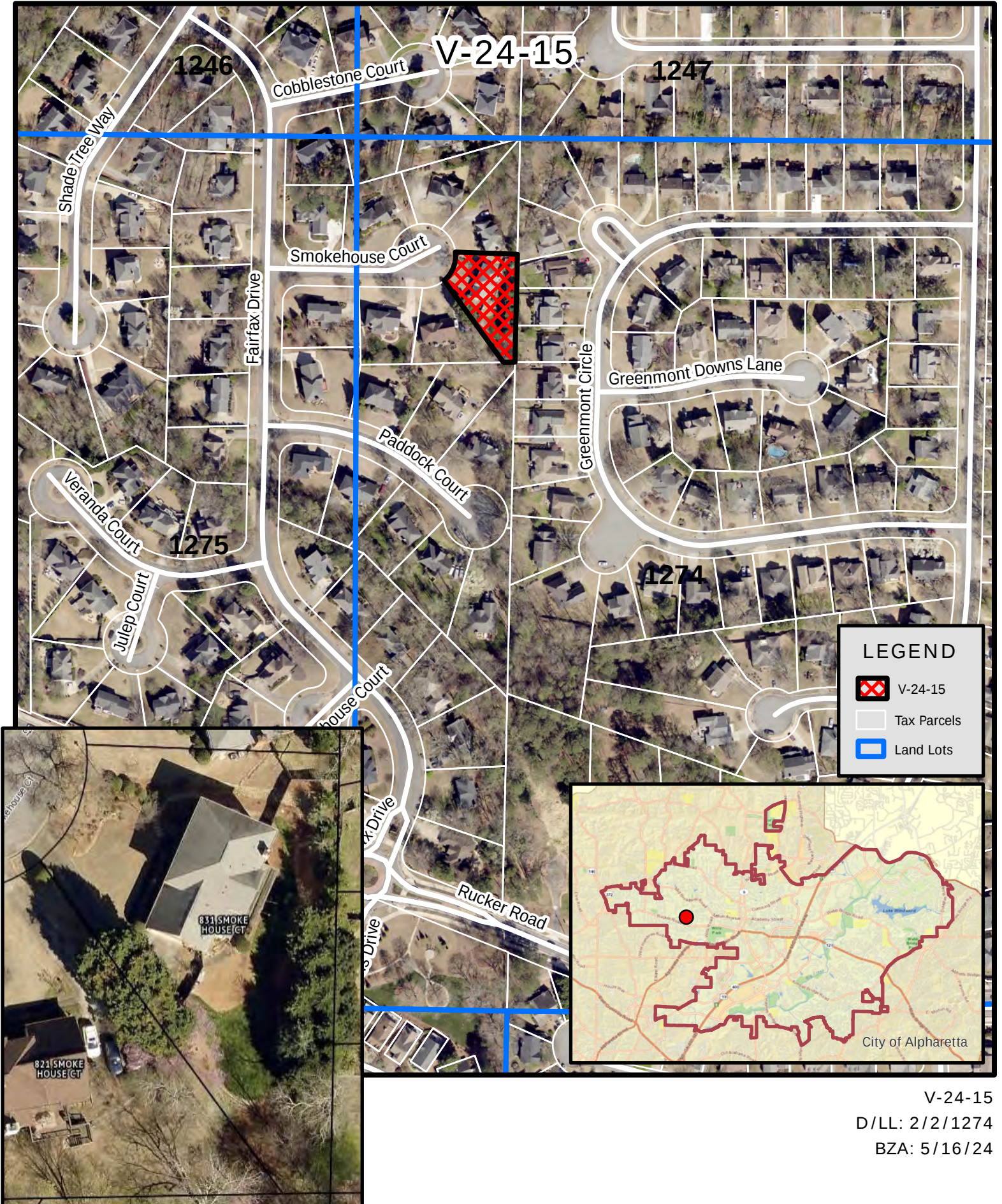
The applicant notified adjacent property owners of the variance request and intent for the property. The applicant provided letters of no objection from adjacent property owners or the from the Fairfax HOA.

IV. ATTACHMENTS:

- Aerial Map
- Location Map
- Citizen Part B
- Application



V-24-15
D/LL: 2/2/1274
BZA: 5/16/24



CITY OF ALPHARETTA

PUBLIC HEARING APPLICATION

FOR OFFICE USE ONLY

Case #: V-24-15

PH #: PHA240014

☐ Property Taxes & Code Violations Verified
☒ Fee Paid Initial ERC

COMMUNITY DEVELOPMENT DEPARTMENT

2 PARK PLAZA

ALPHARETTA, GA 30009

1. This page should be the first page in each of your completed application packets.
2. It is preferred that all responses be typed. Illegible applications will not be accepted.
3. Prior to signing and submitting your application, please check all information supplied on the following pages to ensure that all responses are complete and accurate. Incomplete applications will not be accepted.
4. Payment of all applicable fees must be made at the time of application. Payment may be made via cash, credit card (American Express, Master Card or Visa), or check made payable to "City of Alpharetta." Please note that a 3% convenience fee will be added to all credit card transactions.
5. Applications will be accepted on the designated submittal dates between the hours of 8:30 AM and 3:30 PM.
6. If you have any questions regarding this form, please contact the Community Development Department by calling 678-297-6070.

Contact Information:

Contact Name: Carol Zafiratos

Telephone: 678.687.4429

Address: 831 Smokehouse Ct.

Suite: NA

City: Alpharetta

State: GA

Zip: 30009

Fax: NA

Mobile Tel: 678.687.4429

Email: carol_zafiratos@hotmail.com

Subject Property Information:

Address: 831 Smokehouse Court

Current Zoning: R15

District: 2nd

Section: 2nd

Land Lot: 1274

Parcel ID: 22 434112740217

Proposed Zoning: NA

Current Use: Single family dwelling

This Application For (Check All That Apply):

☐ Conditional Use

☐ Master Plan Amendment

☐ Comprehensive Plan Amendment

☐ Rezoning

☐ Master Plan Review

☒ Variance

☐ Public Hearing

☐ Exception

☐ Other (Specify):

APPLICANT REQUEST AND INTENT

What is the proposed use(s) of the property?

This is a single family dwelling. No change to proposed use of property.

Applicant's Request (Please itemize the proposal):

We would like to extend the northeast corner of the deck from the existing 10ft to 12ft. This will encroach the setback on that corner an additional 2 feet making the proposed screen porch 25.7 feet from the property line. Due to the existing roof lines and the existing exterior door on the house and the fact that the house itself is already encroaching the 35ft rear setback, there is no way to alter the design and comply with the existing setback.

Applicant's Intent *(Please describe what the proposal would facilitate).*

To build a screen porch, large enough to house modern outdoor furniture. Please see attached survey and building plans.

PROPERTY OWNER AUTHORIZATION

Property Owner Information:

Contact Name: Carol Zafiratos

Telephone: 678.687.4429

Address: 831 Smokehouse Court

Suite: _____

City: Alpharetta

State: GA

Zip: 30009

Authorization:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of Fulton County, Georgia, of the property identified below, which is the subject of the attached Application for Public Hearing before the City of Alpharetta, Georgia.

As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Public Hearing in request of the items indicated below.

- | | |
|---|--|
| ☐ Annexation | ☐ Special Use |
| ☐ Rezoning | ☐ Conditional Use |
| ☒ Variance | ☐ Master Plan |
| ☐ Land Use Application | ☐ Other |

Property Owner's Authorized Applicant (if applicable):

Name of Authorized Applicant: William Crippen

Telephone: 770.231.4997

Address: _____

Suite: _____

City: Stone Mountain

State: GA

Zip: 30087

So Sworn and Attested:

Owner Signature: _____

Carol Zafiratos

Date: _____

03-06-2024

Notary: _____

Notary Signature: _____

Paige Whitney



Date: _____

3/6/2024

DISCLOSURE FORM

The Official Code of Georgia Annotated requires disclosure of campaign contributions to government officials by an applicant or opponent of a rezoning or public hearing petition (O.C.G.A. 36-67 A-1).

Applicants must file this form with the City of Alpharetta Community Development Department within ten (10) days after filing for rezoning or public hearing. Opponents to a rezoning or public hearing petition must file this form five (5) days prior to the Planning Commission meeting at which the subject rezoning or public hearing petition is scheduled to be heard.

Name of Applicant or Opponent: Carol Zafiratos

Subject Public Hearing Case: 831 Smokehouse Court, Alpharetta

Campaign Contribution Information:

Please provide the requested information for each contribution with a dollar amount or value of \$250 or more made within the past two (2) years to an Alpharetta Official by the individual identified above. Please use a separate form for each Alpharetta Official to whom such a contribution as been made.

If the individual identified above has made no such contributions to an Alpharetta Official within the past two (2) years, please indicate this by entering "N/A" on the appropriate lines below.

Name of Official: NA Position: NA

Description of Contribution: NA Value: \$ 0.00

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Description of Contribution: _____ Value: _____

Campaign Contribution Information:

I do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Disclosure Form is true and accurate and that I have disclosed herein any and all campaign contributions made to an Official of the City of Alpharetta, Georgia in accordance with O.C.G.A. 36-67 A-1.

Signature: _____

Carol Zafiratos

Date: 03-06-2024

BOARD OF ZONING APPEALS REVIEW CRITERIA

Please respond to the following ONLY if you are applying for a zoning variance.

Are there extraordinary and exceptional conditions pertaining to the subject property because of its size, shape, or topography? Please describe them.

Yes, the property line at the northeast corner of the property gets narrow, due to a small, triangular shape lot on a cul-de-sac, this is the only location where the screen porch can attach and the house itself is currently non-conforming to the existing 35 foot setback. Due to the house placement and the current lot configuration, we can not build a screen porch without encroachment.

Would the application of the Zoning Code standards as they relate to the subject property create an unnecessary hardship? Please explain.

Yes. We would not be able to build a screen porch to protect us from the West Nile virus, the Zika virus and other mosquito borne pathogens as well as COVID and other influenza viruses. The expanded screen porch would be large enough to accommodate a standard 6 person dining room table in a seating area.

Are there conditions that are peculiar to the subject property? Please describe them in detail.

Yes. The location of the house on this lot crowds a specific corner where a slight increase in footprint is necessary in order to make a functional space.

Would relief, if granted, cause substantial detriment to the public good or impair the purpose and intent of the Zoning Code? Please defend your response.

No. Due to a tree buffer between lots most neighbors can not even see the proposed screen porch. The property has 6 adjacent-touching neighbors and only one neighbor (residing at 831 Smokehouse Court) can see the existing deck and that's only if they are outside, standing on their deck. All other properties are blocked by trees and surrounding houses, creating a very private back yard.

On a separate sheet or sheets, please provide any information or evidence that supports your request and the statements that you have provided in this application.

CITIZEN PARTICIPATION FORM - PART A

This form must be completed and submitted with the applicant's completed Public Hearing Application. Applications submitted to the City of Alpharetta without a completed Citizen Participation Form - Part A will not be accepted.

Public Hearing or Project Name: _____

Contact Name: Carol Zafiratos Telephone: 678.687.4429

The following people will be notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified. Use additional pages as needed.

821 Smokehouse Ct.

830 Smokehouse Ct.

250 Greenmont. Cir.

260 Greenmont Cir.

270 Greenmont Cir.

280 Greenmont Cir.

Fairfax HOA

Method by which these individuals will be contacted. Please mark all that apply. *If you select "Other," please provide a description of the method of contact that will be used.*

- | | |
|--|---|
| ☒ Letter | ☐ Personal Visits |
| ☐ Telephone | ☐ Group Meeting |
| ☐ Email | ☐ Other (Please Specify) |

Please describe the method(s) by which these individuals will have the opportunity to respond or contact the applicant with questions or concerns about the proposal.

Letter

RBF	REBAR FOUND (1/2" REBAR)
CRS	CAPPED REBAR SET (1/2" REBAR)
CRBF	CAPPED REBAR FOUND
OTF	OPEN TOP FOUND
CTF	CRIMP TOP FOUND
☼	LIGHT POLE
BL	BUILDING LINE
C.L.F	CHAIN LINK FENCE
R/W	RIGHT-OF-WAY
TPED	PHONE PEDASTAL
CATV	CABLE BOX
WM	WATER METER
□PB	TRANSFORMER
U/E	UTILITY EASEMENT
(12.34'D)	DEED DISTANCE
12.34'(M)	MEASURED DISTANCE
DE	DRAINAGE EASEMENT
SSE	SEWER EASEMENT
AE	ACCESS EASEMENT
HW	HEADWALL
JB	JUNCTION BOX
CB	CATCH BASIN
YI	YARD INLET
P	PORCH
C/P	CARPORT
YI	YARD INLET
ST	STORAGE ROOM
-OHP-	OVERHEAD POWER
-AGL-	ATLANTA GAS LINE

ZONING: R-15

MIN. LOT AREA: 15,000 SF
MIN LOT FRONTAGE: 100'

SETBACKS:

FRONT-35 FEET
SIDE-10 FEET
REAR-25 FEET

MAXIMUM LOT COVERAGE: 25%

EXISTING LOT COVERAGE:

HOUSE-1,825 SF
PORCH-231 SF
FRONT WALK-236 SF
STEPPING STONES-236 SF
DECK-362 SF
REAR WALK-119 SF
STOOP-15 SF
A/C-12
ROCK SWALES-638 SF
DRIVEWAY-1,513 SF
TOTAL-5,045 SF

$$5,045/18249=27.64\%$$

0.419
ACRES

GREENMONT WALK
PHASE ONE – UNIT TWO
PB. 161, PG. 144

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE
BY LATITUDES AND DEPARTURES AND IS FOUND
ACCURATE TO WITHIN ONE FOOT IN 62,569 FEET.

THE FIELD DATA UPON WHICH THIS PLAT IS
BASED HAS A CLOSURE PRECISION OF ONE
FOOT IN 10,000± FEET AND AN ANGULAR
ERROR OF 02" PER ANGLE POINT AND WAS
ADJUSTED USING COMPASS RULE.

A NIKON - TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE OR STRUCTURE.

CERTIFICATION IS MADE TO PERSON(S) NAMED
ON THIS PLAT AND IS NOT TRANSFERABLE TO
OTHERS.

UTILITIES SHOWN ARE LOCATIONS OF GROUND IDENTIFIABLE ITEMS. ADDITIONAL UTILITES MAY EXIST ABOVE OR BELOW GROUND. THE SURVEYOR ACCEPTS NO RESPONSIBILTY FOR THE COMPLETENESS OF THIS DATA.

THIS PROPERTY IS SUBJECT TO ALL RIGHT OF
WAYS AND EASEMENTS SHOWN OR NOT SHOWN,
RECORDED OR UNRECORDED

FLOOD NOTE:

BASED ON GRAPHIC DETERMINATION,
THIS PROPERTY DOES NOT LIE WITHIN
A FEMA/FIRM SPECIAL FLOOD HAZARD
AREA PER COMMUNITY PANEL NO.
13121C0054F DATED 9/18/13.

SCI Development Services

ENGINEERS - SURVEYORS - LAND PLANNERS
2020 WESTSIDE COURT-SITE E-SNELLVILLE GEORGIA 30078
(770) 736-7666 FAX (770) 736-4623
MAIL@SURVEYCONCEPTS.NET

PROJECT: 56287
DWG BY: DCP
CHKD BY: JAS
DATE: 1/15/24
SCALE: 1"=30'

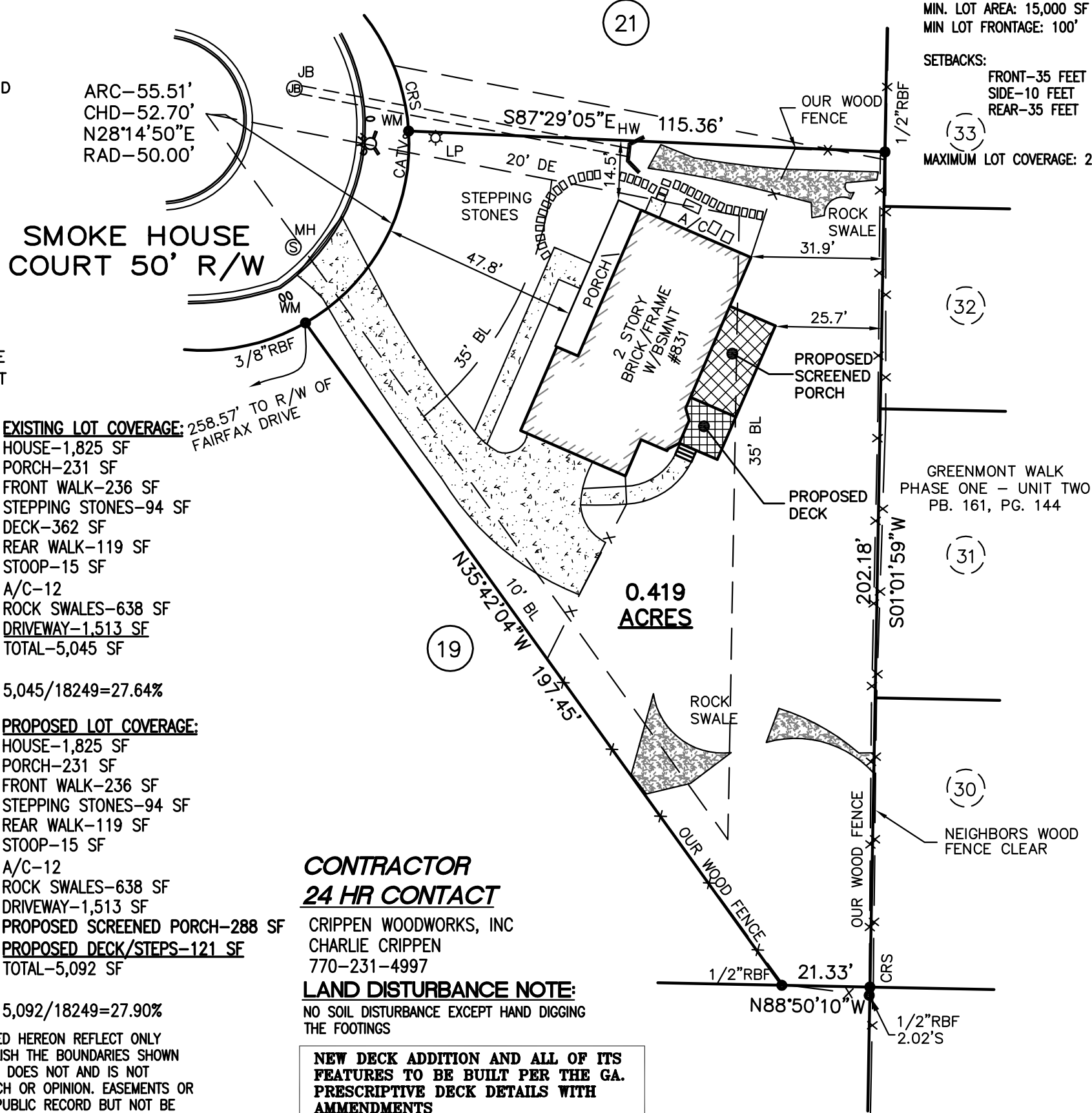
SURVEY FOR:
**CAROL ZAFIRATOS &
HUGH COLTON**

LOT 20
SUBDIVISION: FAIRFAX
LAND LOT 1274 2nd DISTRICT 2nd SECTION
CITY OF ALPHARETTA
FULTON COUNTY, GEORGIA
REFERENCED IN PLAT BOOK 161, PAGE 139

IN MY OPINION, THIS PLAT IS A CORRECT
REPRESENTATION OF THE LAND PLATTED AND
HAS BEEN PREPARED IN CONFORMITY WITH
THE MINIMUM STANDARDS AND REQUIREMENTS
OF LAW.

LEGEND

RBF REBAR FOUND
(1/2" REBAR)
CRS CAPPED REBAR SET
(1/2" REBAR)
CRBF CAPPED REBAR FOUND
OTF OPEN TOP FOUND
CTF CRIMP TOP FOUND
☆ LIGHT POLE
BL BUILDING LINE
C.L.F. CHAIN LINK FENCE
R/W RIGHT-OF-WAY
TPED PHONE PEDASTAL
CATV CABLE BOX
WM WATER METER
□PB TRANSFORMER
U/E UTILITY EASEMENT
(12.34'D) DEED DISTANCE
12.34'(M) MEASURED DISTANCE
DE DRAINAGE EASEMENT
SSE SEWER EASEMENT
AE ACCESS EASEMENT
HW HEADWALL
JB JUNCTION BOX
CB CATCH BASIN
YI YARD INLET
P PORCH
C/P CARPORT
YI YARD INLET
ST STORAGE ROOM
-OHP- OVERHEAD POWER
-AGL- ATLANTA GAS LINE



ZONING: R-15

MIN. LOT AREA: 15,000 SF
MIN LOT FRONTAGE: 100'

SETBACKS:

FRONT-35 FEET
SIDE-10 FEET
REAR-35 FEET

MAXIMUM LOT COVERAGE: 25%

GENERAL NOTES

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE BY LATITUDES AND DEPARTURES AND IS FOUND ACCURATE TO WITHIN ONE FOOT IN 62,569 FEET.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000± FEET AND AN ANGULAR ERROR OF 02" PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE.

A NIKON - TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE OR STRUCTURE.

CERTIFICATION IS MADE TO PERSON(S) NAMED ON THIS PLAT AND IS NOT TRANSFERABLE TO OTHERS.

UTILITIES SHOWN ARE LOCATIONS OF GROUND IDENTIFIABLE ITEMS. ADDITIONAL UTILITIES MAY EXIST ABOVE OR BELOW GROUND. THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR THE COMPLETENESS OF THIS DATA.

THIS PROPERTY IS SUBJECT TO ALL RIGHT OF WAYS AND EASEMENTS SHOWN OR NOT SHOWN, RECORDED OR UNRECORDED

FLOOD NOTE:

BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE WITHIN A FEMA/FIRM SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 13121C0054F DATED 9/18/13.

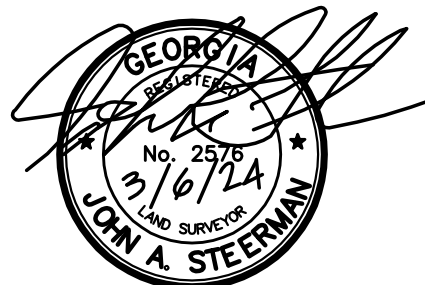
CONTRACTOR 24 HR CONTACT

CRIPPEN WOODWORKS, INC
CHARLIE CRIPPEN
770-231-4997

LAND DISTURBANCE NOTE:

NO SOIL DISTURBANCE EXCEPT HAND DIGGING THE FOOTINGS

NEW DECK ADDITION AND ALL OF ITS FEATURES TO BE BUILT PER THE GA. PRESCRIPTIVE DECK DETAILS WITH AMMENDMENTS



IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

SCI Development Services

ENGINEERS - SURVEYORS - LAND PLANNERS
2020 WESTSIDE COURT-STE E-SNELLVILLE GEORGIA 30078
(770) 736-7666 FAX (770) 736-4623
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PROJECT: 56287
DWG BY: DCP
CHKD BY: JAS
DATE: 1/15/24
SCALE: 1"=30'

SITE PLAN FOR:
CAROL ZAFIRATOS &
HUGH COLTON

LOT 20
SUBDIVISION: FAIRFAX
LAND LOT 1274 2nd DISTRICT 2nd SECTION
CITY OF ALPHARETTA
FULTON COUNTY, GEORGIA
REFERENCED IN PLAT BOOK 161, PAGE 139

Zafiratos/ Colton Residence

831 Smoke House CT

Alpharetta, GA 30009



5775 Musket Lane
Stone Mountain, GA
30087

24 Hour Contact
(770)231-4997

Drawing Index

- C1 - Cover Page
- EL1 - Elevations
- PV1 - Plan View
- FP1 - Foundation Plan
- FR1 - Framing Plan
- FLR - Floor and Railing Plan
- RF1 - Roof Framing Plan
- ASO (1-2) - Structural Notes

Scope

Demo and rebuild existing deck using pressure treated pine for framing, composite decking for flooring and Moisture Shield aluminum railing for guard rails. Also add 294 sq feet of covered screen porch on existing footprint.

uncovered:142 sq ft / covered:294 sq ft



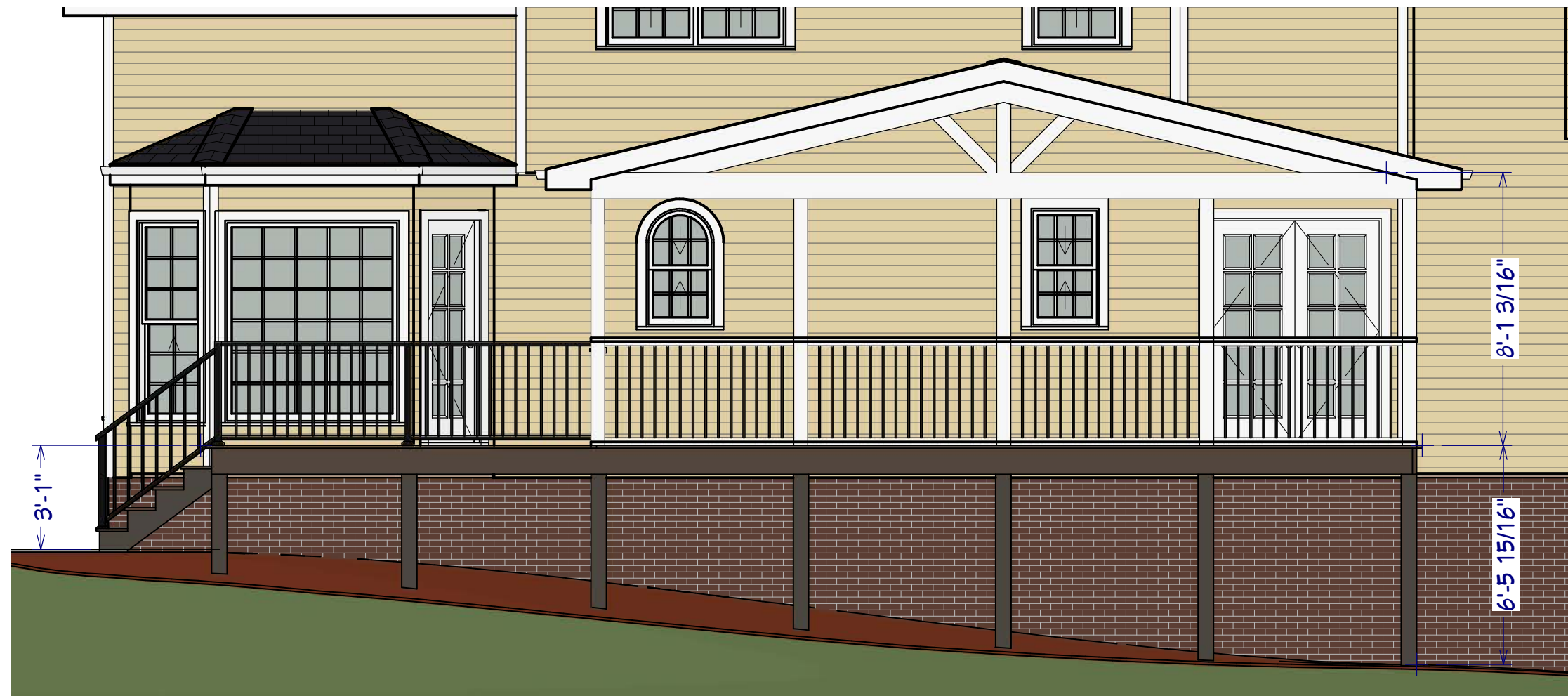
Drawing by
Crippen Woodworks

Zafiratos/ Colton Residence
831 Smoke House CT
Alpharetta, GA 30009

Cover Page

C1

E1

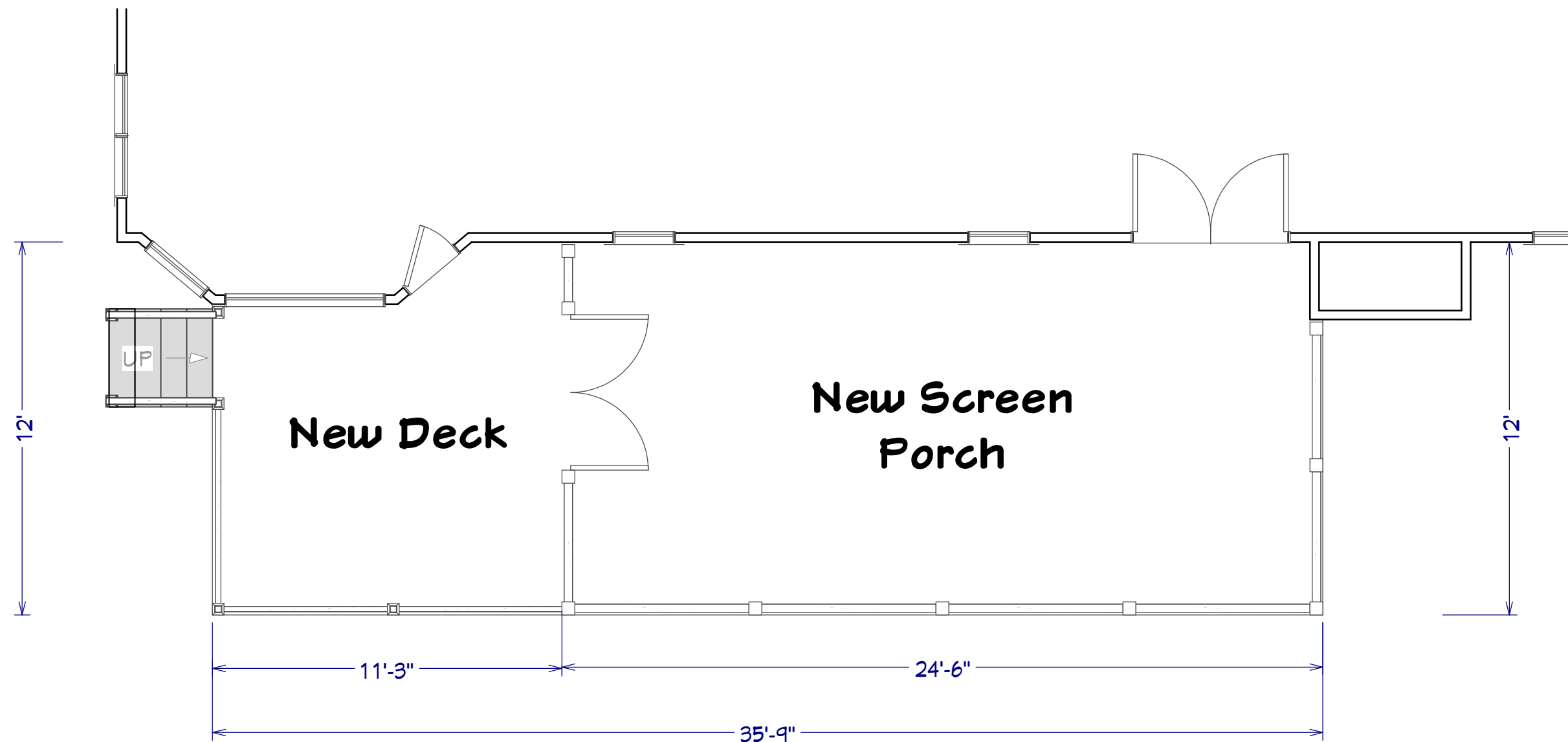


E2



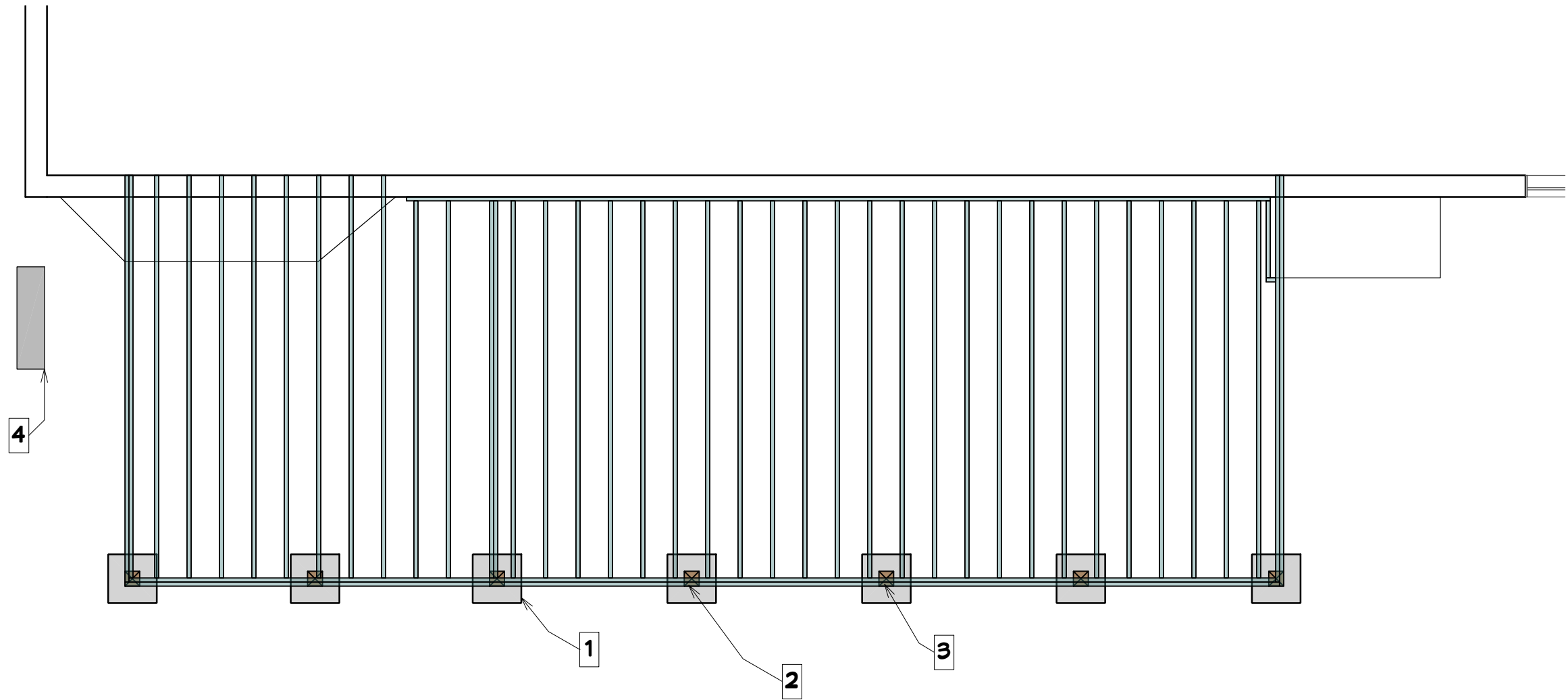
E3





Foundation Notes

- 1. Typ. 18"x18"x12"(min) footing per (ASO 1 figure A)
- 2. Typ. PT SYP 6x6 support post, w/ beam attachment per (ASO 1,figure B)
- 3. Typ. 6x6 post base w/ concrete anchor bolts per (ASO 1,figure A)
- 4. Typ. 45"x12"x12" stair footing



Scale 1/4"=1'



5775 Musket Lane
Stone Mountain, GA
30087

24 Hour Contact
(770)231-4997

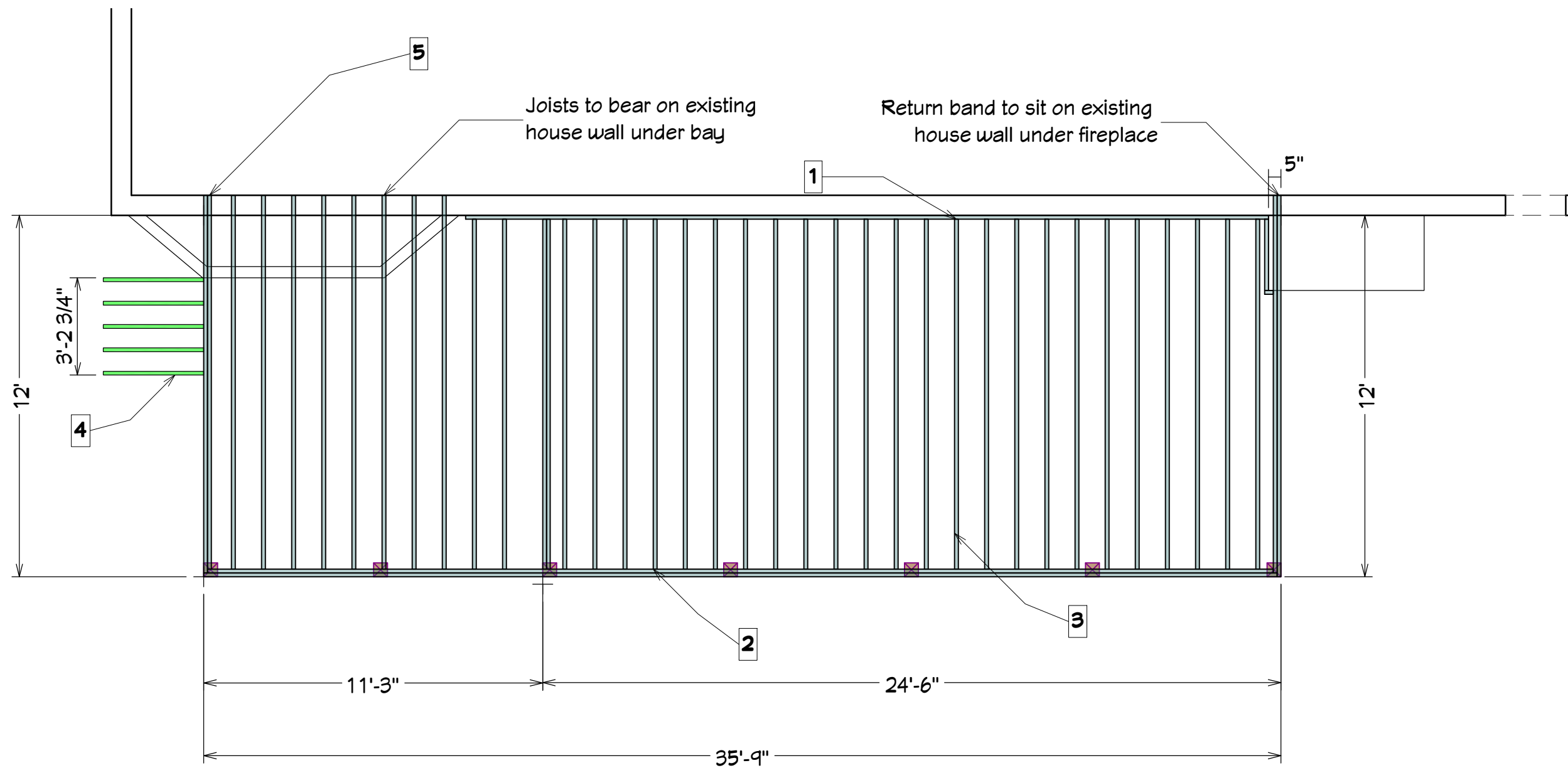
Zafiratos/ Colton Residence
831 Smoke House CT
Alpharetta, GA 30009

Foundation
Plan

FP1

Floor Framing Notes

1. PT SYP 2x10 ledger board attached with 3 5/8" Ledgerloks @ 18" o.c per (ASO 1, figure C, figure D) w/ copper flashing.
2. PT SYP 2x10 double flush beam
3. All joists to be PT SYP 2x10 @ 12" o.c. w/ joist hangers (ASO 1 figure C) u.o.n.
4. Typ. PT SYP 2x12 stair stringers per (ASO 2, figure A) w/ simpson LSCZ per (ASO2, figure B)
5. Lateral load device to be installed per (ASO 2, figure C)



Scale 1/4"=1'



5775 Musket Lane
Stone Mountain, GA
30087

24 Hour Contact
(770)231-4997

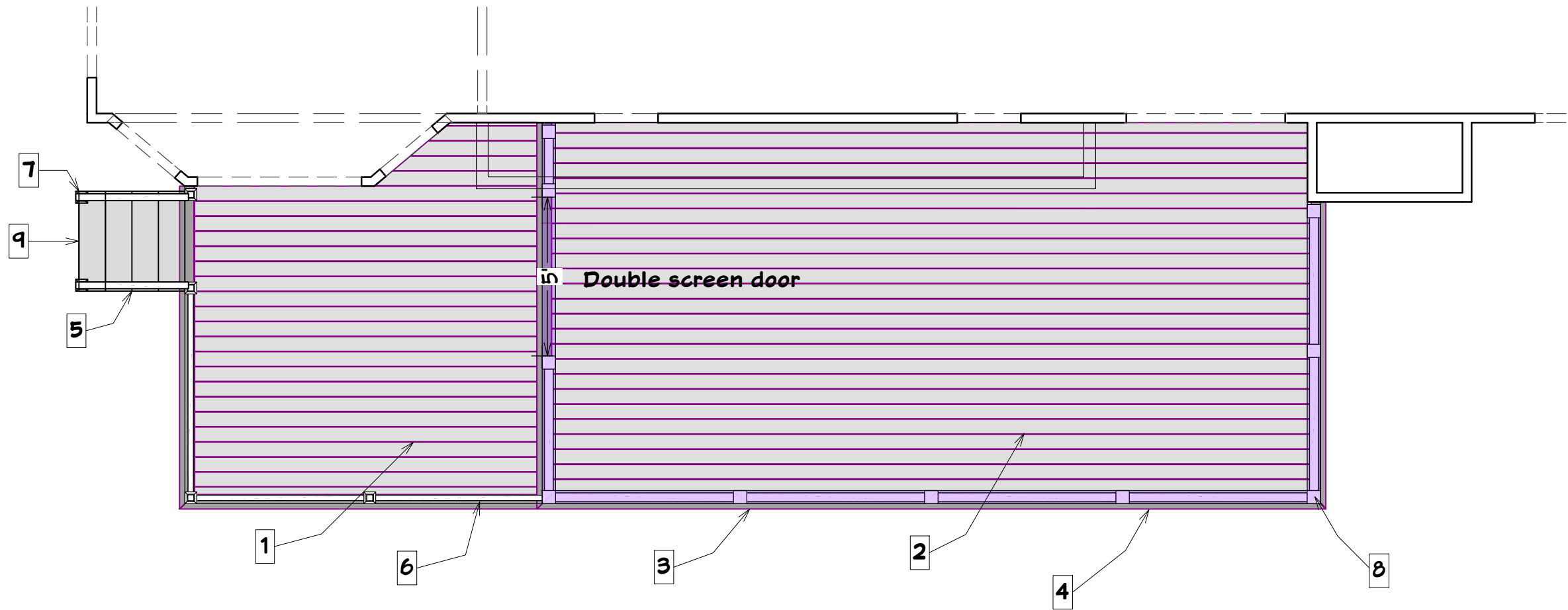
Zafiratos/ Colton Residence
831 Smoke House CT
Alpharetta, GA 30009

Framing
Plan

FR1

Floor and Railing Notes

- 1. Azek 6" flooring w/ hidden fasteners installed per manufacturer's instructions
- 2. Azek 3" porch floor installed w/ 2" trim screws per manufacturer's instructions
- 3. Azek 8" picture frame
- 4. Azek 6" double skirting
- 5. Azek 8" riser boards
- 6. Moisture Shield Compass aluminum guard railing installed per manufacturer's instructions
- 7. Fortress hand rail installed per manufacturer's instructions
- 8. 6x6 pine KDAT porch support post attached to floor w/ (8)-6" simpson truss screws (2 per side) and beam attachment per (ASO 1, figure B)
- 9. Stair lights





CRIPPEN
WOODWORKS
Exquisite Artistry. Exceptional Service.

5775 Musket Lane
Stone Mountain, GA
30087

24 Hour Contact
(770)231-4997

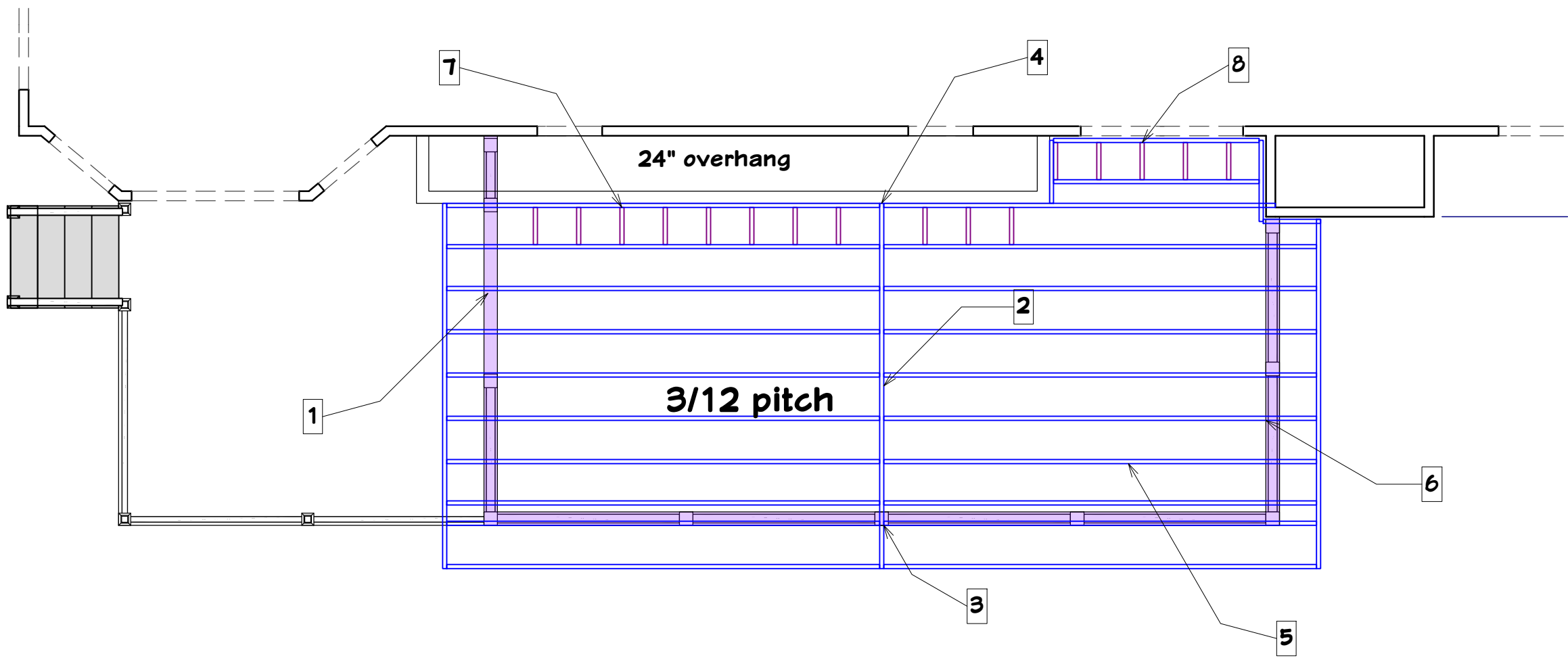
Zafiratos/ Colton Residence
831 Smoke House CT
Alpharetta, GA 30009

Floor and
Railing Plan

FLR1

Roof Framing Notes

- 1. PT double 2x10 drop beam to be attached to existing house framing
- 2. Double 2x12 SYP ridge
- 3. Ridge to bear on 2x10 beam
- 4. Ridge to bear on engineered truss
- 5. 2x6 rafters to be attached to ridge w/ (3) 3" framing nail each side
- 6. Rafters to bear on drop beam and attached w/ simpson H2.5-A
- 7. Rafter to be attached to house w/ (2) 4 1/2" screws in each existing house wall stud
- 8. Add blocking @16" o.c. toe nailed into rafters
- 9. Roof to be sheathed w/ 1/2" Zip System per manufacturer's instructions





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Zafiratos/ Colton Residence
831 Smoke House CT
Alpharetta, GA 30009

Roof
Framing
Plan

RF 1

The diagram illustrates the installation of a pre-manufactured post base into a concrete footing. The footing is shown with a cross-section, containing aggregate material represented by small triangles and dots. A vertical post is shown passing through the footing. The post base is a cylindrical component that sits within the footing, with the post passing through its center. The post base is labeled "pre-manufactured post base with post anchor". The post is labeled "posts must be centered on footing". The footing is labeled "about 12" min." with a vertical dimension line. The footing is also labeled "per Table 4" and "per" with a horizontal dimension line. The footing is shown with a cross-section, containing aggregate material represented by small triangles and dots. A vertical post is shown passing through the footing. The post base is a cylindrical component that sits within the footing, with the post passing through its center. The post base is labeled "pre-manufactured post base with post anchor". The post is labeled "posts must be centered on footing". The footing is labeled "about 12" min." with a vertical dimension line. The footing is also labeled "per Table 4" and "per" with a horizontal dimension line.

single 3" or 4" nominal or double 2" nominal beam

(2) $\frac{1}{2}$ " diameter through-bolts with washers

$\geq 2"$

$\leq 5"$

$\geq \frac{3}{4}"$

beam must bear fully on notched 6x6

6x6 min.

Typical Post

At Splice

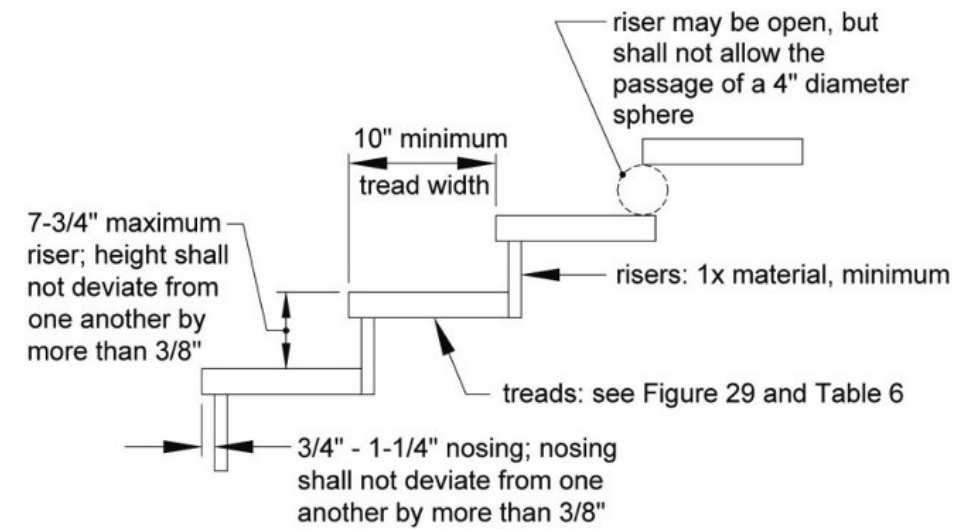
EXTERIOR SHEATHING
 EXSITING STUD WALL
 EXTERIOR CLADDING
 WEATHER-RESISTIVE BARRIER
 FLASHING OVER TOP OF LEDGER BOARD
 DECK JOIST
 EXISTING 2X BAND JOIST OR ENGINEERED RIM BOARD
 1 5/8" MINIMUM, 5" MAXIMUM
 APPROVED FASTENERS AT TOP AND BOTTOM OF LEDGER BOARD AS SHOWN, SEE R507 FOR PATTERN
 JOIST HANGER
 LEDGER BOARD
 SEE TABLE R507.9.1.3(2) FOR FASTENER PLACEMENT
 SILL PLATE
 FLASHING BEHIND LEDGER BOARD
 FLASHING OVER TOP OF CLADDING
 FLOOR FRAMING
 EXISTING FOUNDATION WALL
 CLADDING
(WITH CLADDING)

Diagram illustrating the connection of a ledger to a wall using lag screws, through-bolts, or anchors with washers. The diagram shows the required dimensions for the connection:

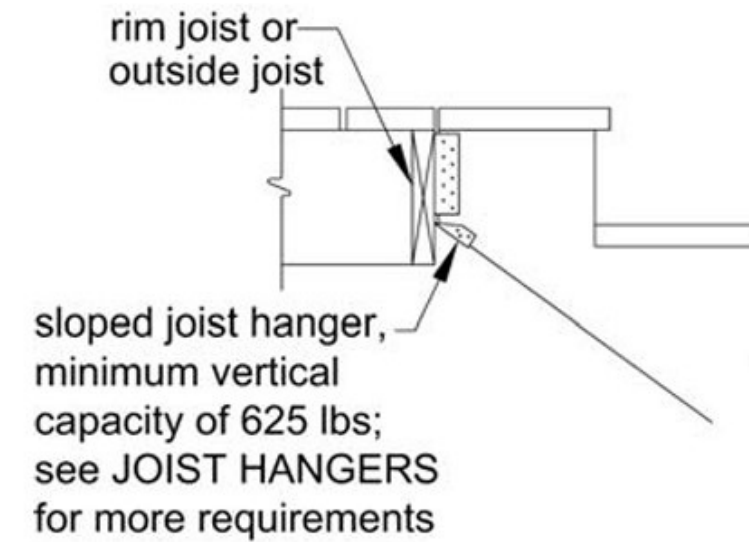
- Minimum distance between fasteners: 2" min.
- Maximum distance from ledger to wall: 5" max.
- Minimum distance from wall to fastener: 3/4" min.
- Stagger fasteners in 2 rows.
- Required dimensions for fasteners based on ledger size:
 - 5.5" min. for 2x8
 - 6.5" min. for 2x10
 - 7.5" min. for 2x12



A

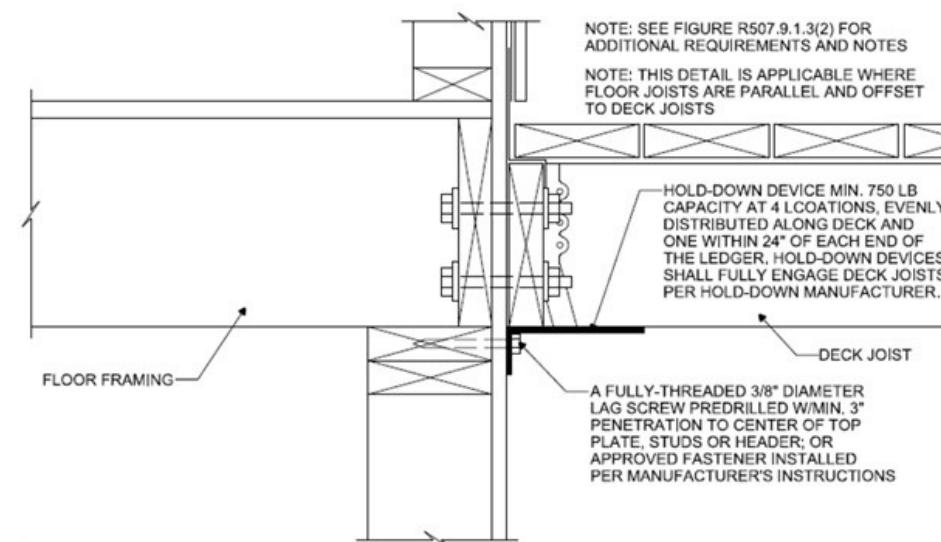


B



ATTACHMENT WITH HANGERS

C



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Zafiratos/ Colton Residence
831 Smoke House CT
Alpharetta, GA 30009

Structural
Notes

ASO 2

CITIZEN PARTICIPATION FORM - PART B

This form must be completed and submitted to the City of Alpharetta Community Development Department a minimum of twenty (20) working days prior to the scheduled Public Hearing. Failure to do so will result in cancellation of the scheduled hearing.

V-24-15 Zafiratos/ 831 Smokehouse Court Deck Variance

Public Hearing or Project Name: _____

Carol Zafiratos

678.687.4429

Contact Name: _____

Telephone: _____

Please describe comments and concerns provided by any and all individuals contacted as part of the the Citizen Participation Program. If any individuals provided written correspondence, please attach copies of same to this report.

A letter describing the proposed variance was sent to the homeowners of all adjoining properties dated March 21, 2024. In addition to being notified via letter, we personally spoke with the homeowners who live at 821and 830 Smoke House Court. Neither party had any objection to the proposed variance and verbalized support for the project. We have not received any comments from any of the other homeowners. The HOA architectural committee was also a sent a copy of the letter dated March 21, 2024. Additionally, complete details of the proposed work were submitted to the HOA architectural committee and they are reviewing the project for harmony with our existing house and the other properties in the subdivision.

Method by which these individuals were contacted. Please mark all that apply. *Please provide samples of any and all written communications used to provide notification.*

☒

Letter

☒

Personal Visits

☐

Telephone

☐

Group Meeting

☐

Email

☐

Other (Please Specify) _____

Attach a list of people who have been notified of this application and provided information describing the subject proposal. Please note that ALL adjoining property owners MUST be notified.

I, the undersigned, as an authorized representative of the applicant and Public Hearing item identified above, do solemnly swear and attest, subject to criminal penalties for false swearing, that the information provided in this Citizen Participation Form - Part B and in any and all documents provided in support of this report are true and accurate. I further understand that any false statements provided by representatives of the applicant as part of this report may result in penalties up to and including denial of the subject application.

Signature of Authorized Agent: _____

Carol Zafiratos

Date: _____

April 17, 2024

Print Form

March 21, 2024

RE: V-24-15 Zafiratos/ 831 Smokehouse Court Deck Variance

Dear Property Owner:

Please allow this letter to serve as public notice for consideration of a variance to reduce the rear setback from 35' to 25' to allow for a deck and screened porch replacement on a single-family detached home on 0.42 acres. This change will allow the new project to be 2 feet larger than the existing. This item will be considered by the Board of Zoning Appeals on **Thursday, May 16, 2024, at 5:30 PM**. The meeting will be held in the Council Chambers at City Hall, 2 Park Plaza, Alpharetta, GA 30009.

If you have any questions regarding the request, please feel free to contact me at your earliest convenience. I can be reached at (678) 687-4429. My email address is: carol_zafiratos@hotmail.com.

To allow for the existing deck to be 2' larger than it is now.

Thank you,

Carol Zafiratos

ROWICKI MICHAEL P & LEE ANNE
250 GREENMONT CIR
ALPHARETTA GA 30009

NGUYEN PHUONG & CHAU
260 GREENMONT CIR
ALPHARETTA GA 30004-1497

PETTITT WYNN R &
COOPER ELIZABETH LEIGH
270 GREENMONT CIR
ALPHARETTA GA 30009

HANKINS STEPHANIE C
HANKINS LARRY M
280 GREENMONT CIR
ALPHARETTA GA 30009

BETTINGER CHARLES E WEBB-
BETTINGER LYNNE
821 SMOKE HOUSE CT
ALPHARETTA GA 30004

SCHINDLER KURT E & JILL DIAS
830 SMOKE HOUSE CT
ALPHARETTA GA 30022
This property was sold and is now owned by
Nick and Maria Ekman.

COLTON HUGH D & ZAFIRATOS CAROL A
831 SMOKE HOUSE CT
ALPHARETTA GA 30004-1487

HOMEOWNERS ASSN OF FAIRFAX INC
P.O. BOX 1032
ALPHARETTA GA 30004